



**Town of Laurel Park
Planning Board**

Date of Meeting: August 13, 2024

Time of Meeting: 3:00 pm

Location: Town Hall, 441 White Pine Drive, Laurel Park NC 28739

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87381728405>

or

Telephone :

+1 305 224 1968 US

1. Call to Order
2. Approval of the Agenda
3. Approval of the Minutes
 - a. July 9, 2024
4. New Business
 - a. Preliminary Site Plan Review – 273 Ransier Drive
 - b. Minor Subdivision 1 lot into 2 – 2519 Davis Mountain Dr
 - c. Minor Subdivision 2 lots into 4 – Prior Preserve
5. Adjourn

**AGENDA ITEM SUMMARY**

Title of Item: Preliminary Site Plan Review – 273 Ransier Drive

Presenter: Cara R. Reeves- Zoning Administrator

Attachment(s): Yes/No

- Aerial Map
- Survey
- Grading Plan
- Impervious Surface Map
- Site Plan
- Elevation Sketches
- Predevelopment Investigation
- Stormwater Plans

Summary of Item:

Suzanna and Beau Waddell (owner) are proposing to build a (16 x 20) addition to an existing single-family detached dwelling located at 273 Ransier Drive. Additionally, sidewalks, steps, parking spaces, and retaining walls are proposed. The parcel is identified on the Henderson County Geographic Information System (GIS) as property identification number (PIN 9558857054). This property is in the R-20 zoning district. The estimated acreage is 8.82 acres, and the slope of the property is estimated at 17.8% which is considered a steep slope.

The Laurel Park Unified Development Ordinance (UDO) section 2.6.3: Dimensional Standards for the R-20 zone indicates that lots with steep slopes (15% to 25%) require a minimum street setback of 35 feet. The side setback is 25 feet, and the rear setback is also 25 feet.

The applicant has consulted with Peak Hydrogeologic who conducted a predevelopment investigation. The limits of disturbance totals approximately 8,065 sq ft. The Site Plans indicate the total proposed new impervious area is 3,370-SF. The proposed work will include addition of asphalt pavement to an existing 1,360-SF steep gravel driveway, addition of four (4) gravel-covered vehicular parking spaces, addition of approximately 305-linear feet of stone and concrete retaining walls, and addition of 1,055-SF of stone slab steps/sidewalks. Existing evidence of soil instability at and below the proposed development area and existing stormwater conveyance measures observed at the site are limited. As such, topographically down-gradient and neighboring homes as close as 150-ft to the south and immediately downhill from the proposed development area at risk of erosion and sedimentation. Regarding the presence of geologic hazards at the site, Peak HG opines that there is a potential debris flow pathway on the steep slope to the southwest of and below the existing home. Additional risk factors to slope stability at the potential debris flow pathway include the recent addition of a wastewater infiltration system at the top of the slope where the owner recently constructed a new septic drainfield. The proposed development area will likely exacerbate soil instability in that area. Evidence of soil instability is already present at and below the proposed development area. Unless stormwater management controls are implemented, the proposed development poses a risk of erosion and sedimentation to topographically down-gradient and neighboring homes as



AGENDA ITEM SUMMARY

close as 150-ft on adjoining properties to the south. Based on the potential for development of a landslide hazard (debris flow pathway) in the ravine to the southwest of the home, no stormwater runoff from the proposed development should be directed to this location. Based on the results of this pre-development investigation, soil instability and landslide hazards may develop at specified locations along the southern slope of the property as a result of stormwater dispersal from the proposed construction. In such cases, the Laurel Park UDO requires preparation of a Stormwater Management Plan. Peak HG recommends conveyance of stormwater runoff away from the southern slope and ravine (where there's potential for slope stability risks to down-gradient adjoining properties), and towards the northern slope on the property where there is well-established vegetative ground cover in the forest, and there is a much larger buffer area between any potentially affected down-gradient properties. Such a plan should also address remediation of existing stormwater conveyance measures (i.e. clogged culverts) along the driveway to the home.

A subsequent Stormwater Plan has been prepared by WGLA Engineering, who is also the Town's Engineer. The pre-development investigation determined that stormwater dispersal to the southside of the property was not recommended. The stormwater plan proposes to collect the stormwater and direct it to the northern side of the property. The project would meet the requirements for volume matching (no net increase in stormwater runoff volume beyond 10% of pre-development conditions), in addition to proposing underground detention for the system.

No tree removal is proposed. Due to the size and location of the addition, the required landscaping abutting the addition is Type A Intermittent Perimeter Buffer (2 canopy trees, 2 understory trees, and 15 shrubs) which is being satisfied by existing vegetation on site in accordance with UDO 7.4.13 Planting Flexibility allows Credit for Existing Vegetation.

Suggested Action: Staff requests Planning Board review the attachments and review criteria.

Suggested Motion: Motion to approve, approve with conditions, or deny.

GoMaps



August 6, 2024

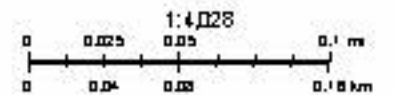
Streets and Highway:

-  FREEWAY
-  INTERSTATE
-  BOULEVARD

-  THOROUGHFARE
-  COLLECTOR
-  Local Roads
-  Parcel

THIS IS NOT A SURVEY.

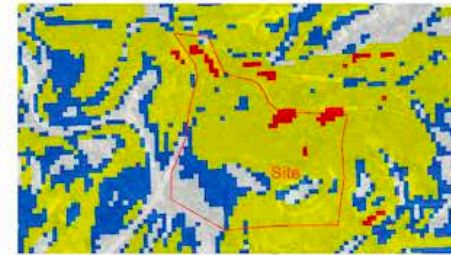
All information or data provided, whether subscribed, purchased or otherwise distributed, whether in hard copy or digital media, shall be at the user's own risk. Henderson County makes no warranties or guarantees, including the warranties of merchantability or of fitness for a particular purpose. Map data is not appropriate for, and is not to be used as, a geodetic, legal, or engineering base system. The data is not intended as a substitute for surveyed locations such as can be determined by a registered Public Land Surveyor, and does not meet the minimum accuracy standards of a Land Information System/Geographic Information System Survey in North Carolina (21 NCAC 56.1608).



Legend:
 C&M = Existing Concrete Monument
 C* = Existing Iron Stake
 FDS = Existing Iron Stake
 FDS = Iron Pin Set
 L = Lateralized Point, Unless Otherwise Noted
 R/W = Right of Way
 R/W FACN = Right of Way Monument
 C&D = Chain Out

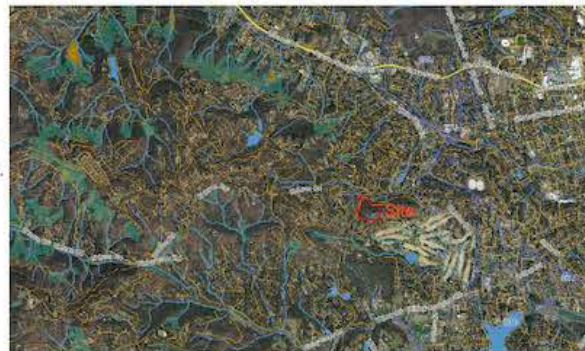
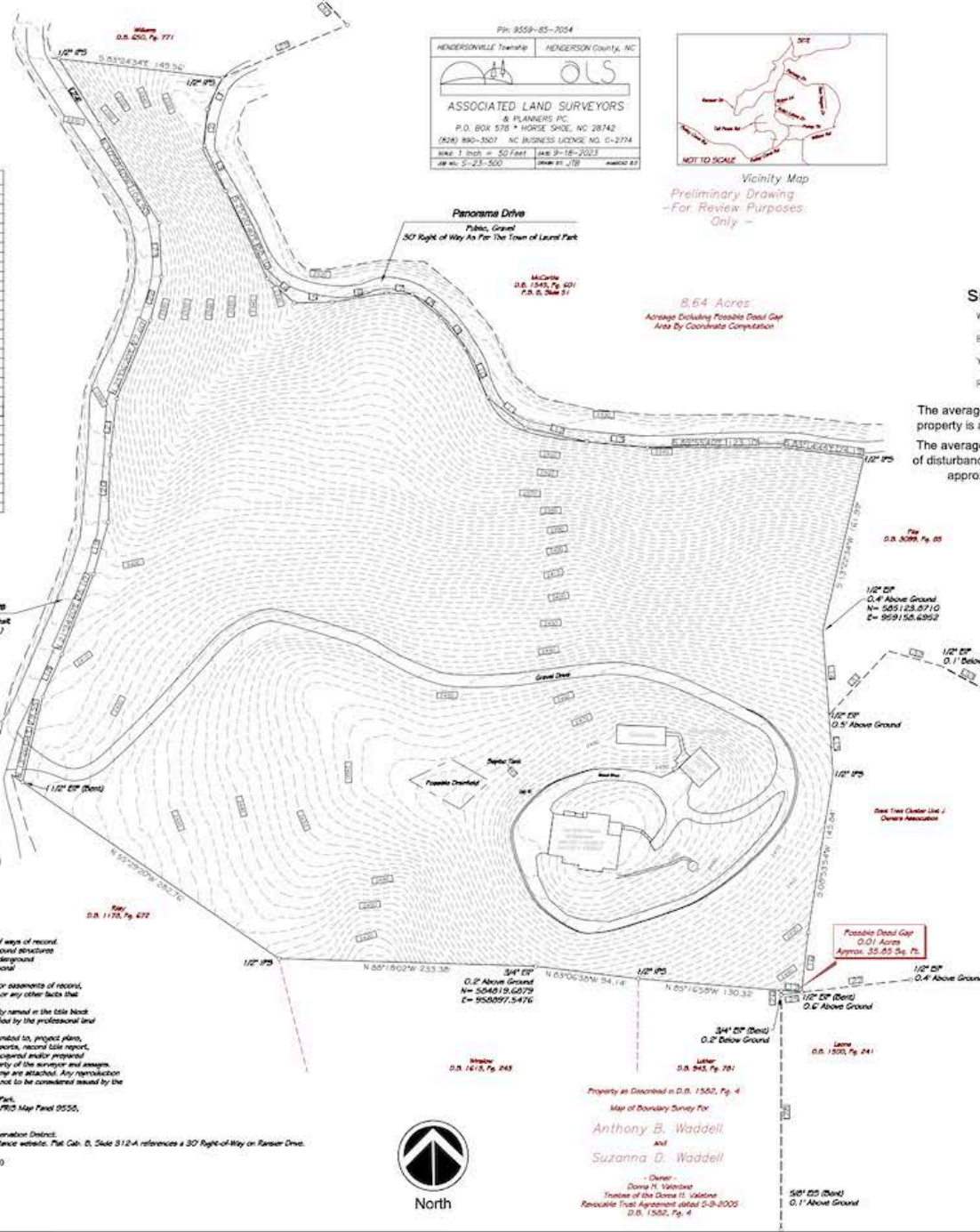
Ph: 355-85-7054
 HENDERSONVILLE Township HENDERSON County, NC

ASSOCIATED LAND SURVEYORS & PLANNERS PC
 P.O. BOX 578 • HORSE SHOE, NC 28742
 (828) 890-3307 NC BUSINESS LICENSE NO. C-2774
 STATE 1 inch = 50 Feet DATE 3-18-2023
 SHEET NO. 5-23-500 SHEET 21 OF 210



L27-434 And Tie Lines

Course	Bearing	Distance
L1	S 23°59'49" W	31.91
L2	S 04°07'20" W	38.10
L3	S 25°15'40" E	45.70
L4	S 48°33'40" E	32.70
L5	N 85°18'20" E	34.30
L6	N 80°33'20" E	50.20
L7	S 87°27'40" E	23.40
L8	S 52°12'40" E	33.20
L9	S 38°15'40" E	36.10
L10	N 24°50'40" E	41.30
L11	S 51°12'40" E	44.50
L12	S 77°13'40" E	57.00
L13	S 64°20'40" E	53.30
L14	S 04°13'24" E	75.37
L15	S 03°26'34" E	53.33
L16	S 05°05'27" E	54.60
L17	N 85°11'23" W	16.37
L18	N 24°11'20" E	42.40
L19	N 15°27'20" E	49.20
L20	N 01°24'20" E	50.90
L21	N 05°44'20" E	51.60
L22	N 15°01'20" E	40.60
L23	N 02°50'40" W	49.10
L24	N 32°02'45" W	64.77
L25	N 33°02'45" W	14.84
L26	N 00°01'45" E	3.93
L27	N 83°29'04" E	99.70
L28	S 00°01'45" W	213.27
L29	N 67°12'11" E	123.00
L30	N 43°21'41" W	119.58
L31	N 42°27'16" E	79.26
L32	S 74°11'00" E	49.30
L33	S 61°57'16" E	50.53
L34	S 48°05'23" E	32.24



Other Consultants:
 Architect: Professional Design
 Engineer: Associated Land Surveyors

Owner:
 Donna H. Valentine - Trustee of the
 Donna H. Valentine Revocable Trust
 Agreement dated 5-9-2005
 D.B. 1502, Pg. 4
 Anthony B. Waddell and Suzanna D. Waddell
 Ph: 355-85-7054

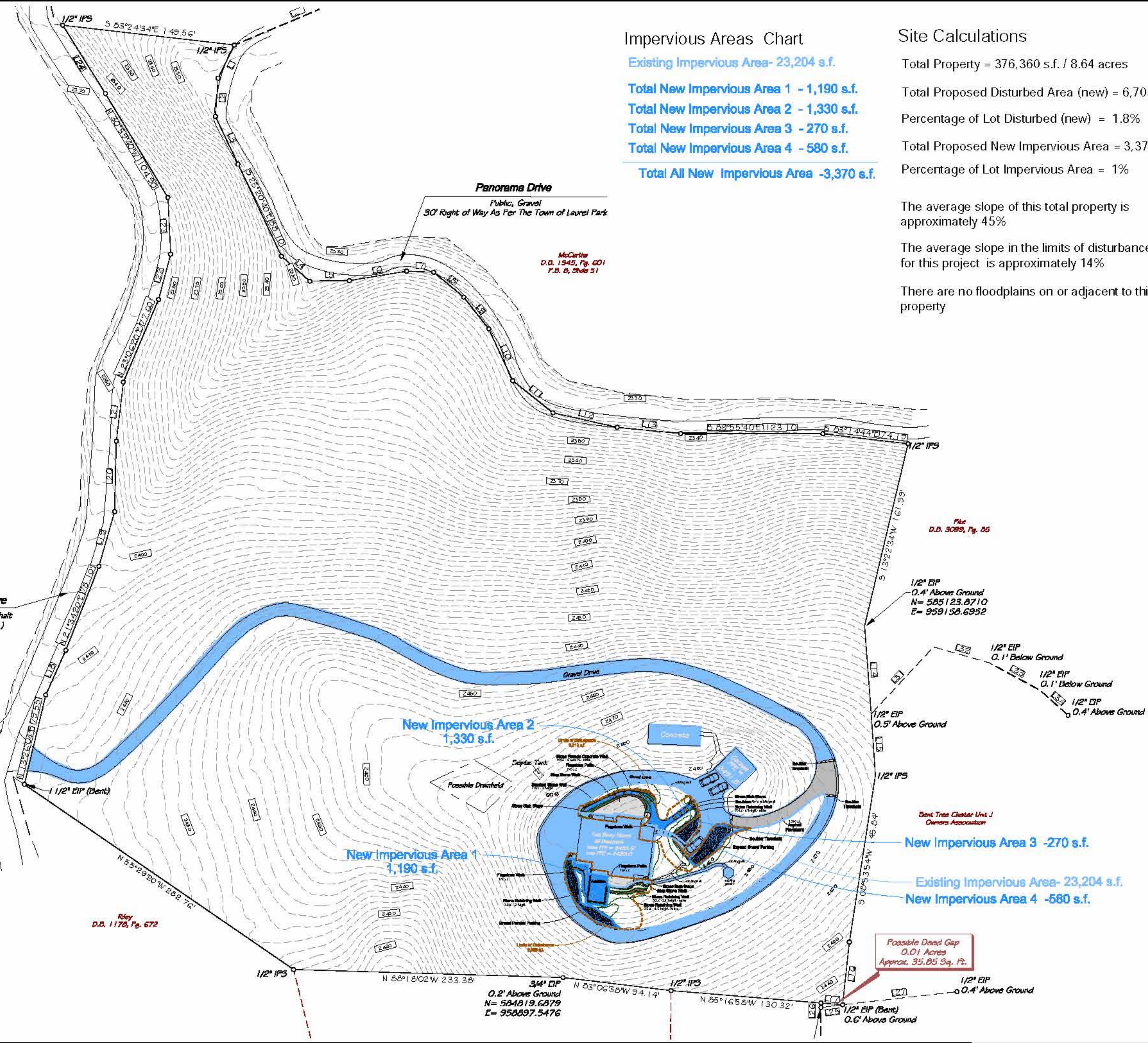
Project:
 Waddell Residence
 273 Laurel Drive
 Laurel Park, Henderson County, N.C.

Sheet:
 Survey and Site Maps
 P 23 OF 99

Designed By:
 Creative
 Elements
 Solutions
 cde
 1000 4th Street West, Hendersonville, North Carolina 28739
 P 828 696 9995 | F 828 696 9994

ISSUE DATE: April 8, 2024
DESIGNED BY: ABW
DRAWN BY: SDW
APPROVED BY: SDW

Project Number:
 SHEET NUMBER:
 11



Impervious Areas Chart

- Existing Impervious Area- 23,204 s.f.
- Total New Impervious Area 1 - 1,190 s.f.
- Total New Impervious Area 2 - 1,330 s.f.
- Total New Impervious Area 3 - 270 s.f.
- Total New Impervious Area 4 - 580 s.f.
- Total All New Impervious Area -3,370 s.f.**

Site Calculations

- Total Property = 376,360 s.f. / 8.64 acres
- Total Proposed Disturbed Area (new) = 6,705 s.f. / .154 acres
- Percentage of Lot Disturbed (new) = 1.8%
- Total Proposed New Impervious Area = 3,370 s.f. / .157 acres
- Percentage of Lot Impervious Area = 1%

The average slope of this total property is approximately 45%

The average slope in the limits of disturbance for this project is approximately 14%

There are no floodplains on or adjacent to this property

Other Consultants:	
Architect - Prudhomme Design	
Surveyor - Associated Land Surveyors	
Owner:	Donna H. Valentine- Trustee of the Donna H. Valentine Revocable Trust Agreement dated 5-9-2005 D.S. 1562, Pg. 4
	Anthony B. Waddell and Sumner D. Waddell P.W. 9556-05-7054
Project:	Waddell Residence 279 Ransier Drive Laurel Park, Headroom County, N.C.
Sheet:	Site Plan
Designed By:	cds Creative Development Solutions landscape architecture land planning community and resort design 1003 4th avenue west, headroomville, north carolina 28729 p 828 666 9982 f 828 666 9984
ISSUE DATE:	April 14, 2024
REVISIONS:	
DESIGNED BY:	DB
DRAWN BY:	SB
APPROVED BY:	DB
Project Number:	
SHEET NUMBER:	L2

1 INCH
D.B. 3099, Pg. 85

1/2" EIP
0.4' Above Ground
N= 585123.8710
E= 959158.6952

1/2" EIP
0.5' Above Ground

1/2" IPS

Bent Tree Cluster Unit J
Owners Association

Possible Deed Gap
0.01 Acres
Approx. 35.85 Sq. Ft.



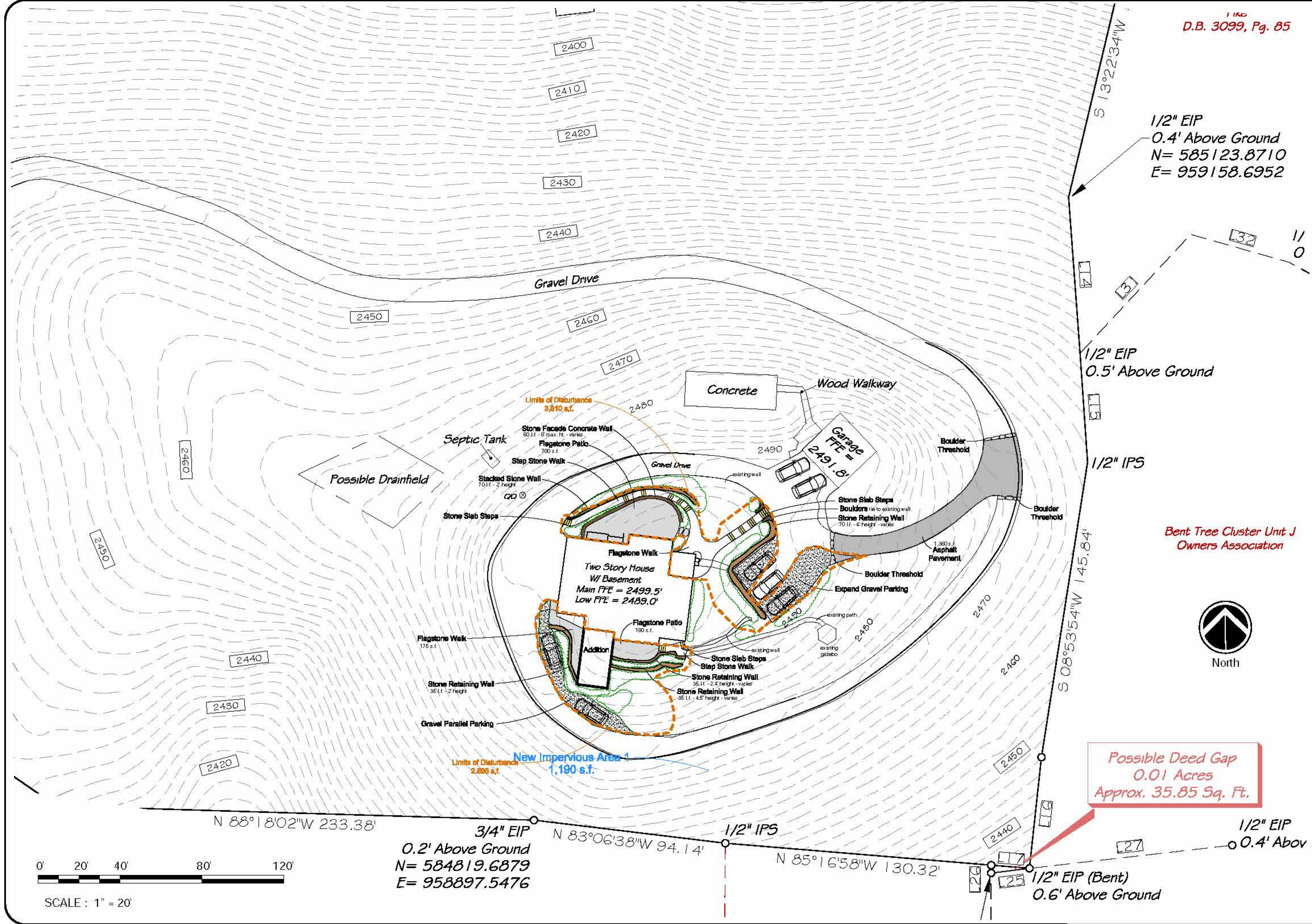
SCALE: 1" = 20'

3/4" EIP
0.2' Above Ground
N= 584819.6879
E= 958897.5476

1/2" IPS
N 83°06'38"W 94.14'

N 85°16'58"W 130.32'

1/2" EIP (Bent)
0.6' Above Ground



Other Consultants:

Architect - Prudhomme Design
Surveyor - Associated Land Surveyors

Owner
Donna H. Valentine - Trustee of the
Donna H. Valentine Revocable Trust
Agreement dated 5-9-2005
D.S. 1562, Pg. 4
Anthony B. Waddell and Sumner D. Waddell
P/N: 9556-05-7054

Project:
Waddell Residence
279 Rausser Drive

Sheet:
Site Plan

Designed By:
Creative
Development
Solutions
landscape architecture | land planning | community and resort design
1003 4th avenue west, Hendersonville, North Carolina 28729
p 828 696 9982 | f 828 696 9924

ISSUE DATE: April 8, 2024
REVISIONS:
DESIGNED BY: DB
DRAWN BY: SB
APPROVED BY: DBB

Project Number:
SHEET NUMBER:
L2.1

Kaitland Finkle

From: wbuie@wgl.com
Sent: Monday, July 29, 2024 3:51 PM
To: Assistant
Subject: Waddell Residence - 273 Ransier Drive
Attachments: Waddell Stormwater Plans - 7-29-24.pdf; Stormwater Calculations and Supporting Documents.pdf; Project 474-24_Pre-Development Investigation 273 Ransier Dr. Laurel Park NC.pdf

Be Advised: This email originated from outside of the Laurel Park network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Cara,

Good afternoon.

As discussed last week, we have been assisting the Waddell's with their stormwater plan for the improvements at 273 Ransier Drive. I believe they have already submitted site plans and building plans to the Town. I am sending you a copy of the pre-development investigation, stormwater plans and stormwater calculations.

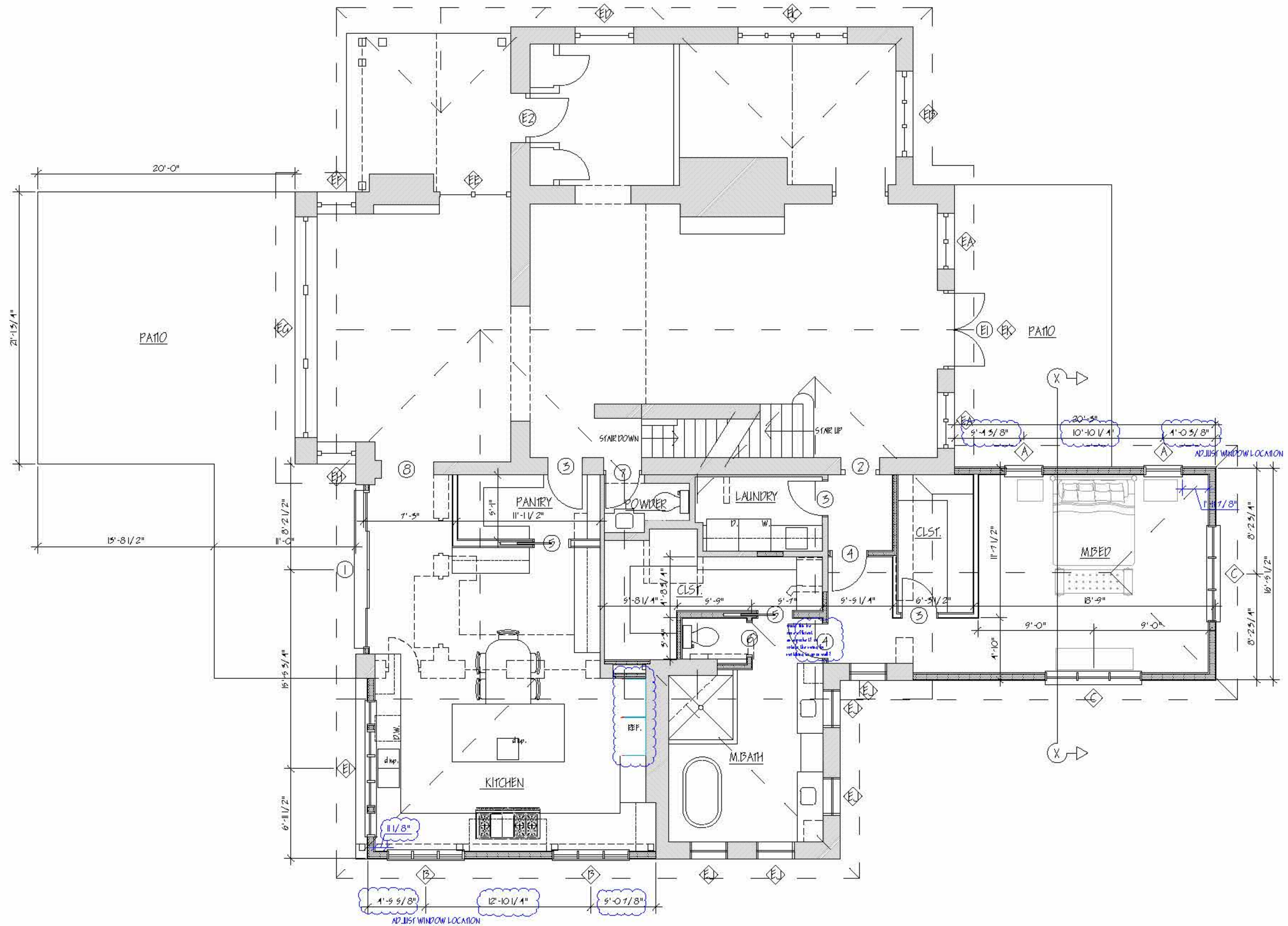
I mentioned in our meeting that the pre-development investigation determined that stormwater dispersal to the south side of the property was not recommended. The stormwater plan attached proposes to collect the stormwater and direct it to the northern side of the property. Based on our calculations, the project would meet the requirements for volume matching (no net increase in stormwater runoff volume beyond 10% of pre-development conditions), but we are also proposing underground detention for the system.

Let me know if you would like to set up a time to discuss. I will be glad to meet you at Town Hall. Also, let me know if there is additional information that you may need (applications or fees) to conduct the review.

Thanks for your help Cara!

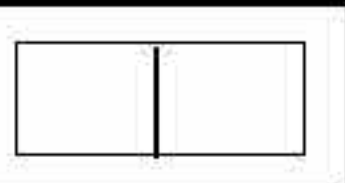
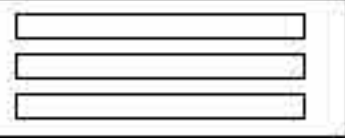
Will

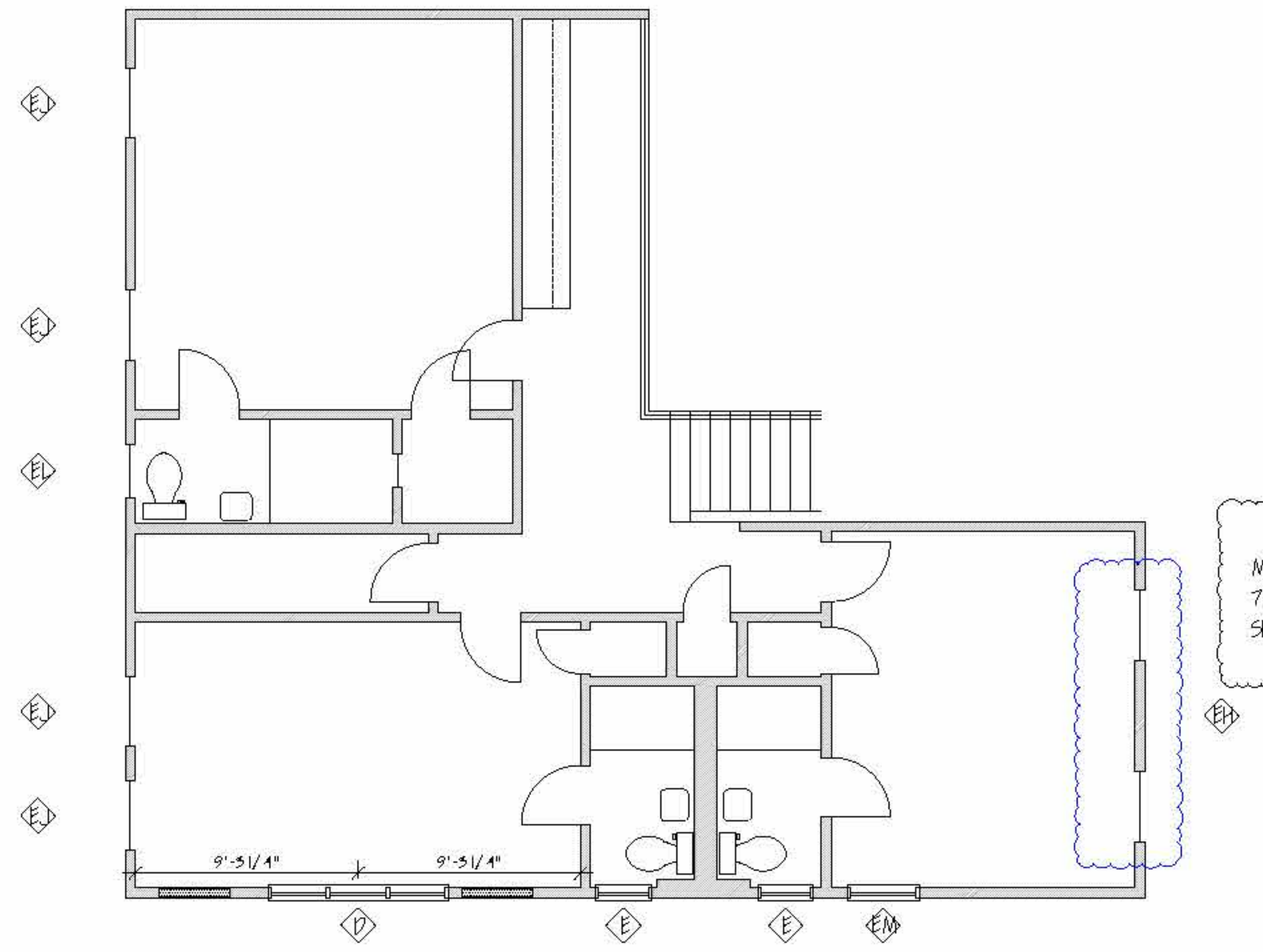
William R. Buie, P.E.; Project Manager/Principal
WGLA Engineering, PLLC
724 5th Avenue West
Hendersonville, NC 28739
828-687-7177 ext 302
www.wgl.com



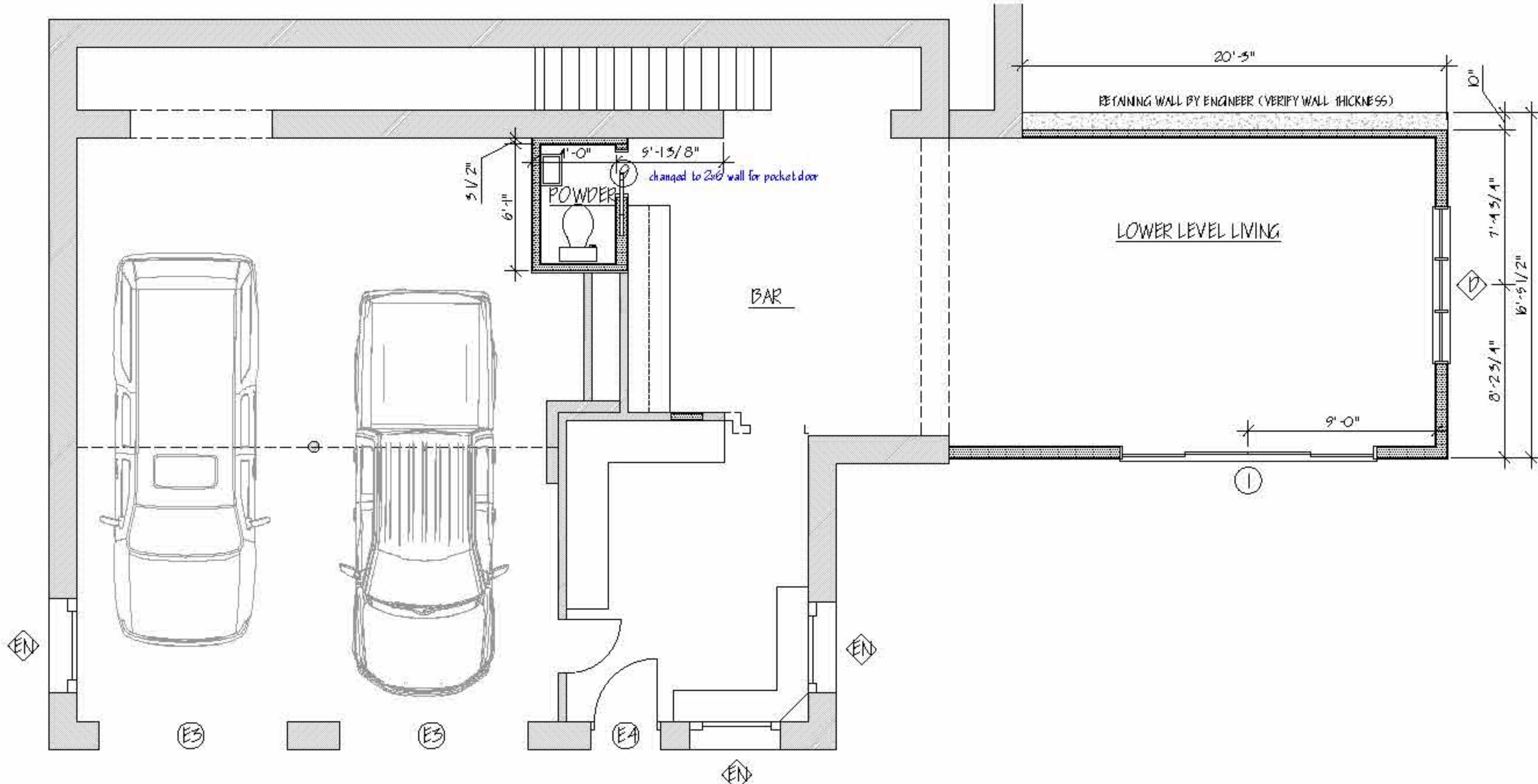
MAIN LEVEL PLAN
 2717 sq ft (EXISTING), 387 sq ft (ADDITION)
 FIELD VERIFY ALL MEASUREMENTS
 --- EXISTING WALLS TO BE REMOVED
 ——— EXISTING WALLS TO REMAIN
 ===== NEW WALLS

SCALE 1/4" = 1'-0"

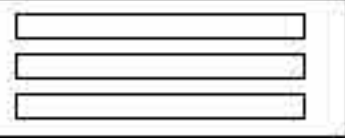




UPPER LEVEL PLAN
1133 sq ft (EXISTING)
FIELD VERIFY ALL MEASUREMENTS
--- EXISTING WALLS TO BE REMOVED
--- EXISTING WALLS TO REMAIN
= NEW WALLS
SCALE 1/4" = 1'-0"



LOWER LEVEL PLAN
1427 sq ft (EXISTING), 387 sq ft (ADDITION)
FIELD VERIFY ALL MEASUREMENTS
--- EXISTING WALLS TO BE REMOVED
--- EXISTING WALLS TO REMAIN
= NEW WALLS
SCALE 1/4" = 1'-0"





FRONT ELEVATION
FIELD VERIFY ALL MEASUREMENTS

SCALE 1/4" = 1'-0"

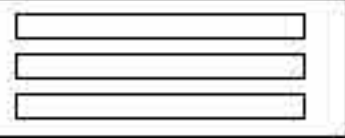


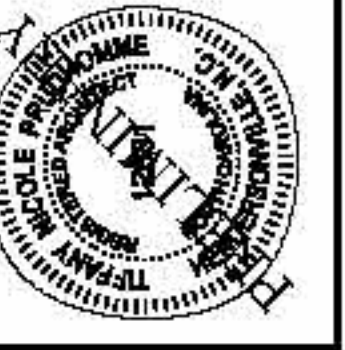
REAR ELEVATION
FIELD VERIFY ALL MEASUREMENTS

SCALE 1/4" = 1'-0"

waddell residence
ADDITION & RENOVATION FOR BEAL & SUZANNA WADDELL
farrall park - north carolina

29 JANUARY 2024





SIDE ELEVATION
FIELD VERIFY ALL MEASUREMENTS

SCALE 1/4" = 1'-0"



SIDE ELEVATION
FIELD VERIFY ALL MEASUREMENTS

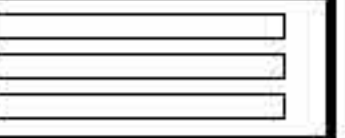
SCALE 1/4" = 1'-0"

UPPER LEVEL FF
UPPER LEVEL FF
MAIN LEVEL PEAKING
MAIN LEVEL FF
GARAGE PEAKING
GARAGE FF

waddell residence

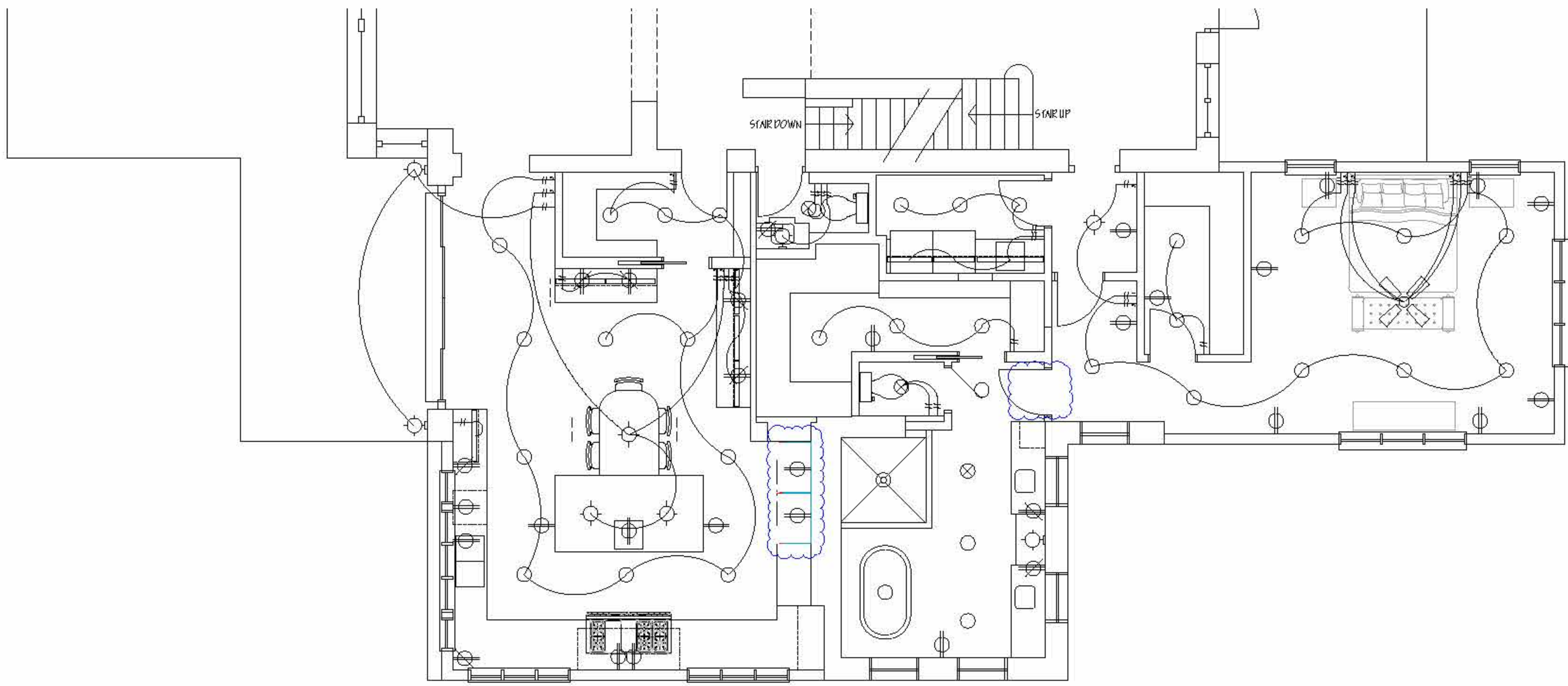
ADDITION & RENOVATION FOR BEAL & SUZANNA WADDELL
farrall park - north carolina

29 JANUARY 2024



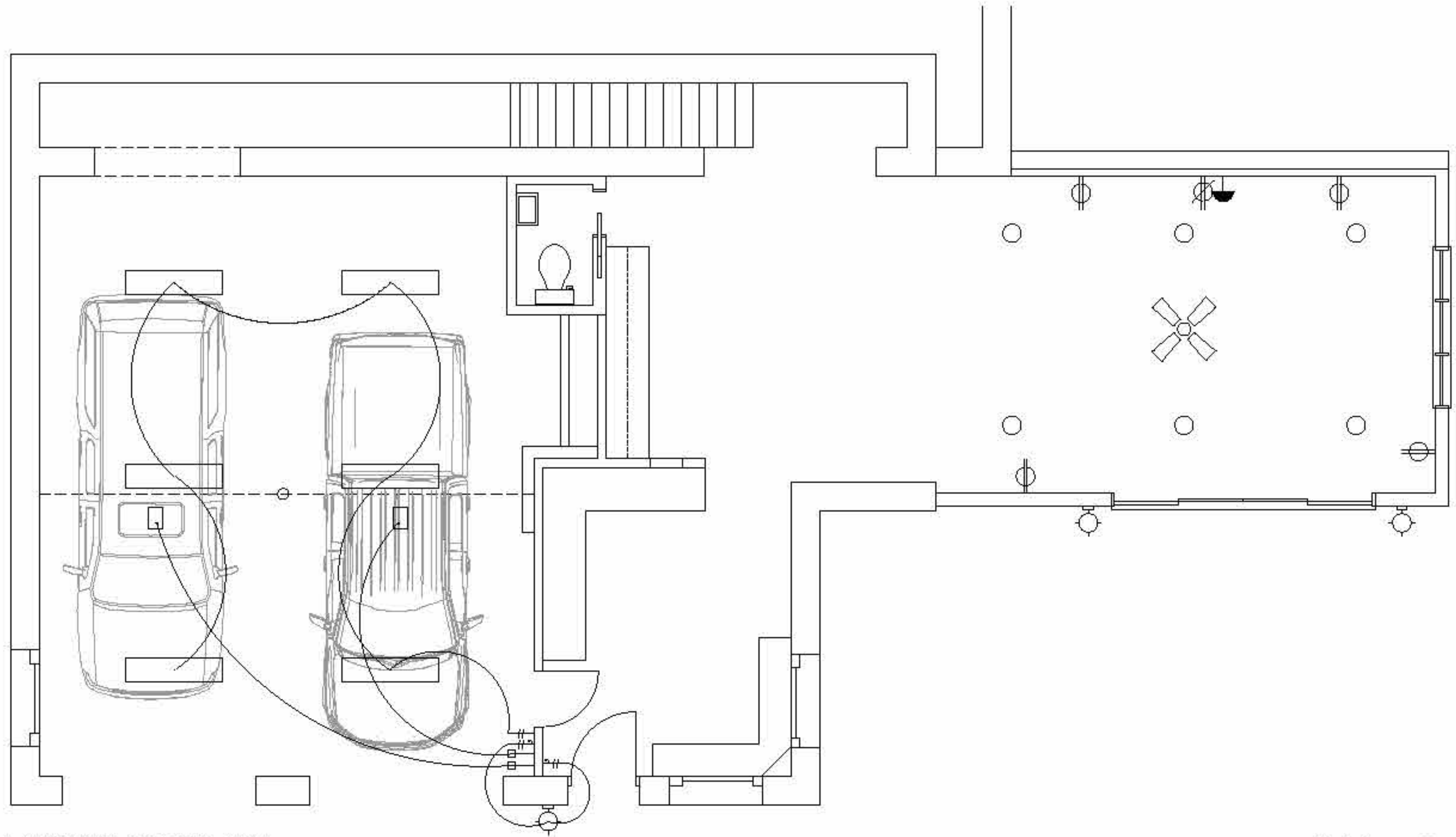


**PRUDHOMME
DESIGN &
INTERIORS**
AIA - 521 WETMUR STREET - HENDERSONVILLE, NORTH
CAROLINA 28739
www.pruddesign.com



MAIN LEVEL ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



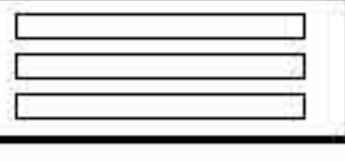
LOWER LEVEL ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

ELECTRICAL SYMBOLS LEGEND	
	120 vac DUPLEX OUTLET M.D. 12" aff
	120 vac QUAD OUTLET M.D. AT DESIGNATED HEIGHT
	120 vac QUAD OUTLET M.D. ABOVE COUNTERTOP OR AT DESIGNATED HEIGHT
	120 vac DUPLEX OUTLET M.D. ABOVE COUNTERTOP

waddell residence
ADDITION & RENOVATION FOR BEAL & SUZANNA WADDELL
fairfax park - north carolina

29 JANUARY 2024



5



VIA EMAIL

March 29, 2024

Ms. Suzanna Waddell
suzanna.waddell@gmail.com

Re: Laurel Park Pre-Development Investigation
8.8-Acre Residential Property (Henderson Co. PIN 9558857054)
273 Ransier Drive, Laurel Park, NC 28739
Peak Hydrogeologic, PLLC Project No. 474-24

Dear Ms. Waddell,

Peak Hydrogeologic, PLLC (Peak HG) is pleased to provide you with this letter report for the Laurel Park Pre-Development Investigation that was performed by a NC-Licensed Geologist (NC LG #2515). Peak HG is a NC-licensed geological consulting firm (#C-543) that maintains \$2M in commercial, professional, and pollution-liability insurance coverages. The report below documents Peak HG's understanding, scope of services, investigative results, and conclusions/recommendations.

I. PROJECT BACKGROUND

Peak HG understands that a home addition, sidewalks, steps, parking spaces, and retaining walls are proposed at the 8.8-acre residential property (Henderson Co. PIN 9558857054) of Suzanna and Beau Waddell at 273 Ransier Drive, Laurel Park, NC 28739 (Figure 1).

Because "Very Steep Slopes" exist on portions of the property, the Laurel Park Unified Development Ordinance ("UDO", last amended 8.15.23) Environmental Section 3.1.5 requires a NC-Licensed Geologist to perform a Pre-Development Investigation to assess the likelihood for development of landslide hazards or soil instability because of utilization of typical stormwater dispersal measures.

II. SCOPE OF SERVICES

To satisfy the Laurel Park UDO requirements for performance of a pre-development investigation, Peak HG has performed the following:

- Desktop literature review of Site Plans (Creative Development Solutions, 4/3/2024), Henderson County GIS property data, US Geologic Survey (GS) and NCGS topographic and geologic maps, USDA soil maps, and NC LiDAR terrain data to characterize the site hydrogeological setting and potential for landslide hazards and soil instability.

- Field reconnaissance to evaluate the site setting at the proposed development area, including an assessment of existing soil characteristics, stormwater management controls, vegetative cover, slope steepness, soil instability (erosion and sedimentation), geologic hazards (landslide/debris fields, curved and/or fallen trees, fault scarp, slump/creep, seeps/springs, fractured/jointed bedrock outcrops, etc.), and proximity to sensitive receptors (e.g., topographically down-gradient neighbors and recipients of stormwater runoff and sedimentation from the proposed development).
- Reporting that includes documentation of investigative methods, results of the desktop literature review, photographs and results of the field reconnaissance, conclusions about the likelihood for landslides and soil instability from the proposed development, and recommendations for stormwater management.

III. RESULTS

Desktop Literature Review

Based on Peak HG's review of Site Plans prepared by Creative Development Solutions (4/3/2024), the limits of disturbance totals approximately 8,066-SF. The proposed work will include addition of asphalt pavement to an existing 1,360-SF steep gravel driveway, addition of four (4) gravel-covered vehicular parking spaces, addition of approximately 305-linear feet of stone and concrete retaining walls, addition of 1,055-SF of stone slab steps/sidewalks, and addition of an approximately 200-SF home add-on structure. Stormwater conveyance measures are not currently included in the Site Plans. Other than the limited 1,360-SF asphalt driveway conversion, no work is proposed along the existing gravel driveway to the home. The Site Plans indicate the total proposed new impervious area is 3,370-SF, and the average slope of the property is approximately 45%. Note that while the Site Plans reference a total proposed disturbed area of 6,705-SF, it appears that this area omits the 1,360-SF asphalt driveway conversion described above. Also note that while the Site Plans indicate an average slope in the limits of disturbance is approximately 14%, Peak HG opines this is an underestimate based on recent site observations and evidence of grading and soil stockpiling in the area of proposed construction.

Based on a review of Henderson County GIS data (<https://henderson.roktech.net/gomaps4>; accessed May 21, 2024) for the subject property, topographic relief at the site ranges a total of approximately 175-ft, from a topographic maximum elevation of approximately 2,495-ft amsl near the southeastern property extent to a minimum elevation of approximately 2,320-ft amsl near the northwestern property extent. Based on slope mapping data for the site, slope steepness within the proposed work areas is >25%. No NC Geologic Survey landslide mapping data is available for the subject property and adjoining properties.

Based on a review of NC Division of Water Resources Water Supply Watersheds mapper (<https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html?id=80b5a3634eda417880aaf6d2abddfb6f2>, accessed May 21, 2024), Wash Creek (A.K.A. Rainbow Lake, Temple Terrace Lake, Stream Index 6-55-7) crosses the northwestern property corner, and it is a tributary to Mud Creek in the French Broad River Basin.

The USDA Web Soil Survey (<https://websoilsurvey.sc.egov.usda.gov>; accessed May 21, 2024) Soil Map for the property indicates that soils at the site consist of Edneyville (Edneytown) fine sandy loam ("EdE" Unit) on 15 to 25 percent slopes. The EdE Unit is described as occurring on mountain summits, ridges, and slopes. The soil forms from creep deposits over residuum weathered from igneous and metamorphic rock. The depth to restrictive feature and water table is >80 inches. The soil is reportedly well drained, and the capacity of the most limiting layer to transmit water (Ksat) is moderately high to high (0.57 to 1.98 in/hr).

The Geologic Map of North Carolina (<https://ncdenr.maps.arcgis.com/apps/MapSeries/index.html?appid=0a7ccd9394734ff6aa2434d2528ddf12>; North Carolina Geological Survey; 1985; 1:500,000-scale) indicates that bedrock at the property and surrounding areas consists of intrusive metamorphic rock of the Henderson Augen Gneiss (monzonitic to granodioritic; inequigranular). In addition, The Geologic Map of the Knoxville Quadrangle, North Carolina, Tennessee, and South Carolina (Hadley, J.B., and Nelson, A.E.; 1971; U.S. Geological Survey Miscellaneous Geologic Investigations Map I-654; 1:250,000-scale) also indicates that the site is mapped in the Henderson Gneiss "hg" Unit, which consists of "biotite-microcline augen gneiss, medium to coarse grained, generally well foliated, locally fluorite bearing." Planar measurements of metamorphic foliation shows strike trends NE-SW and dips SE at 20° to 30°. No higher resolution geologic mapping publications are available for the site, but within Laurel Park (approximately 1/2-mile west of the site) there is a 1:24,000-scale bedrock geologic map of the Horse Shoe 7.5-minute quadrangle, Henderson and Transylvania Counties, NC (Cattarach, B.L., and Merschat, C.E., NGGS Open-File Report 2009-04; 2009), which indicates the presence of several intersecting joint sets in Henderson Gneiss near the site where slope failure is known or expected to occur.

1-meter LiDAR Digital Elevation Model data from NC Spatial Data Downloads (<https://sdd.nc.gov/>; accessed May 21, 2024) was plotted in the software QGIS to review ground surface topography and make inferences about underlying bedrock structural deformation patterns and zones of mass wasting. Areas of steep and/or hummocky terrain and locations of topographic lineaments and surface water drainage pathways were flagged to check in the field.

Field Reconnaissance

On May 22, 2024, a hydrogeologist with Peak HG performed a field reconnaissance to characterize slope instability and geologic hazards at the site and nearby properties. Peak HG walked the proposed driveway, parking spaces, sidewalks, retaining walls, and the home addition. Peak HG also walked all areas topographically down-gradient from proposed work locations that may be affected by slope instability and geologic hazards, including homes located within 150-ft of the southern property boundary and also at Wash Creek at the northwestern property corner. Peak HG also observed a recently modified septic drainfield with recently disturbed/unstable soils to the northwest of the home.

During the site visit, Peak HG observed a cross-section of the soil profile from a recent excavation along the southern-most proposed parking area (see photographs). The cross-section indicates the presence of fine sandy loam underlain by weathered henderson gneiss regolith. Henderson gneiss bedrock outcrops were also observed in the southern ravine and

in the Wash Creek stream channel. These soil and bedrock observations are in agreement with USDA soil mapping and USGS geologic mapping for the site.

As shown on Figure 1, the proposed area of disturbance (8,065-SF) is situated immediately north, east, and south of the existing home site. Development is proposed at the topographic high-point of a low-lying mountain that encompasses the site and several adjoining properties that are downhill from the subject property.

At least half of the area of proposed disturbance is on very steep slopes (shown as 25-60% slopes in Henderson County GIS). Existing evidence of soil instability (see attached photographs) at and below the proposed development area includes on- and off-site sedimentation from driveway gravel, erosion and sedimentation at very steeply sloped temporary soil stockpiles, channelization of stormwater runoff pathways in undeveloped/forested areas, and denuded surfaces on modified steep slopes with limited vegetative cover and/or mulch.

Existing stormwater conveyance measures observed at the site are limited, and they include approximately four (4) culverts along the main gravel driveway that exhibit erosion and sedimentation (see photographs). No stormwater conveyance measures are proposed in the Site Plans to mitigate anticipated stormwater runoff and erosion/sedimentation impacts from development on very steep slopes. As such, topographically down-gradient and neighboring homes as close as 150-ft to the south and immediately downhill from the proposed development area at risk of erosion and sedimentation.

Regarding the presence of geologic hazards at the site, Peak HG opines that there is a potential debris flow pathway on the steep slope to the southwest of and below the existing home. Indicators of slope instability at this location include the presence of curved trees (<10% present), tree deadfall and up-turned shallow root wads, a minor slump location (possibly a relict excavation), and a bedrock outcrop with intersecting joints/fractures, etc. Additional risk factors to slope stability at the potential debris flow pathway include the recent addition of a wastewater infiltration system at the top of the slope where the owner recently constructed a new septic drainfield.

IV. CONCLUSIONS

In accordance with requirements posed by the Laurel Park Unified Development Ordinance ("UDO", last amended 8.15.23) Environmental Section 3.1.5, a NC-licensed Professional Geologist (NC LG # 2515) with Peak HG has performed a Pre-Development Investigation at the 8.8-Acre Residential Property (Henderson Co. PIN 9568857054) of Suzanna and Beau Waddell at 273 Ransier Drive, Laurel Park, NC 28739. The Pre-Development Investigation was performed to determine if development that is proposed at the site on very steep slopes will likely result in landslide hazards or soil instability, and to identify if alternative stormwater management methods are needed to make the site safe for development.

As detailed in the report above, Peak HG has performed a desktop literature review and field reconnaissance for this Pre-Development Investigation. A site map (Figure 1) and photographs are provided as attachments to this report. Based on Peak HG's review of Site Plans prepared by Creative Development Solutions (4/3/2024), the limits of disturbance totals

approximately 8,065-SF. The proposed development includes addition of asphalt pavement to an existing 1,360-SF steep gravel driveway, addition of four (4) gravel-covered vehicular parking spaces, addition of approximately 305-linear feet of stone and concrete retaining walls, addition of 1,055-SF of stone slab steps/sidewalks, and addition of an approximately 200-SF home add-on structure. Stormwater conveyance measures are not currently included in the Site Plans.

As currently proposed, Peak HG opines that the proposed development on very steep (>25%) slopes at/below (to the south of) the proposed development area will likely exacerbate soil instability in that area. Evidence of soil instability is already present at and below the proposed development area (see photographs). Unless stormwater management controls are implemented, the proposed development poses a risk of erosion and sedimentation to topographically down-gradient and neighboring homes as close as 150-ft on adjoining properties to the south. Based on the potential for development of a landslide hazard (debris flow pathway) in the ravine to the southwest of the home, no stormwater runoff from the proposed development should be directed to this location.

Based on the results of this pre-development investigation, soil instability and landslide hazards may develop at specified locations along the southern slope of the property as a result of stormwater dispersal from the proposed construction. In such cases, the Laurel Park UDO requires preparation of a Stormwater Management Plan in accordance with the NC Department of Environmental Quality's Stormwater Best Management Practice Manual. Accordingly, Peak HG recommends coordination with a qualified NC-licensed Professional Engineer(s) in order to review the Site Plan, perform a geotechnical assessment at the locations of the proposed building foundations for the home addition and retaining walls, and develop/implement a Stormwater Management Plan.

The engineer's Stormwater Management Plan should address slope stability during and after completion of grading and construction at the site. To achieve this, Peak HG recommends conveyance of stormwater runoff away from the southern slope and ravine (where there's potential for slope stability risks to down-gradient adjoining properties), and towards the northern slope on the property where there is well-established vegetative ground cover in the forest, and there is a much larger buffer area between any potentially affected down-gradient properties. Such a plan should also address remediation of existing stormwater conveyance measures (i.e. clogged culverts) along the driveway to the home.

V. LIMITATIONS

While every effort was made for this site evaluation to provide representative site information as needed to evaluate landslide hazards and slope instability; it is not within the scope of this project to document all conditions that may alter the conclusions and recommendations provided in this report. As such, the results of this investigation are applicable as of the date of the investigation and only under the limited parameters of the investigation. Peak HG makes no guarantees about unknown or future site conditions. Any deviations from the proposed development plan, which were reviewed as part of this investigation, may alter or void the conclusions presented above.

VI. CLOSING

Peak Hydrogeologic, PLLC sincerely appreciates the opportunity to provide you with this report. Please contact me at (828) 817-5209 or by email at jgerst@peakhydrogeologic.com if you have any questions.

Sincerely,

Peak Hydrogeologic, PLLC (NC C-543 Geology)
Environmental & Water Resources Consulting

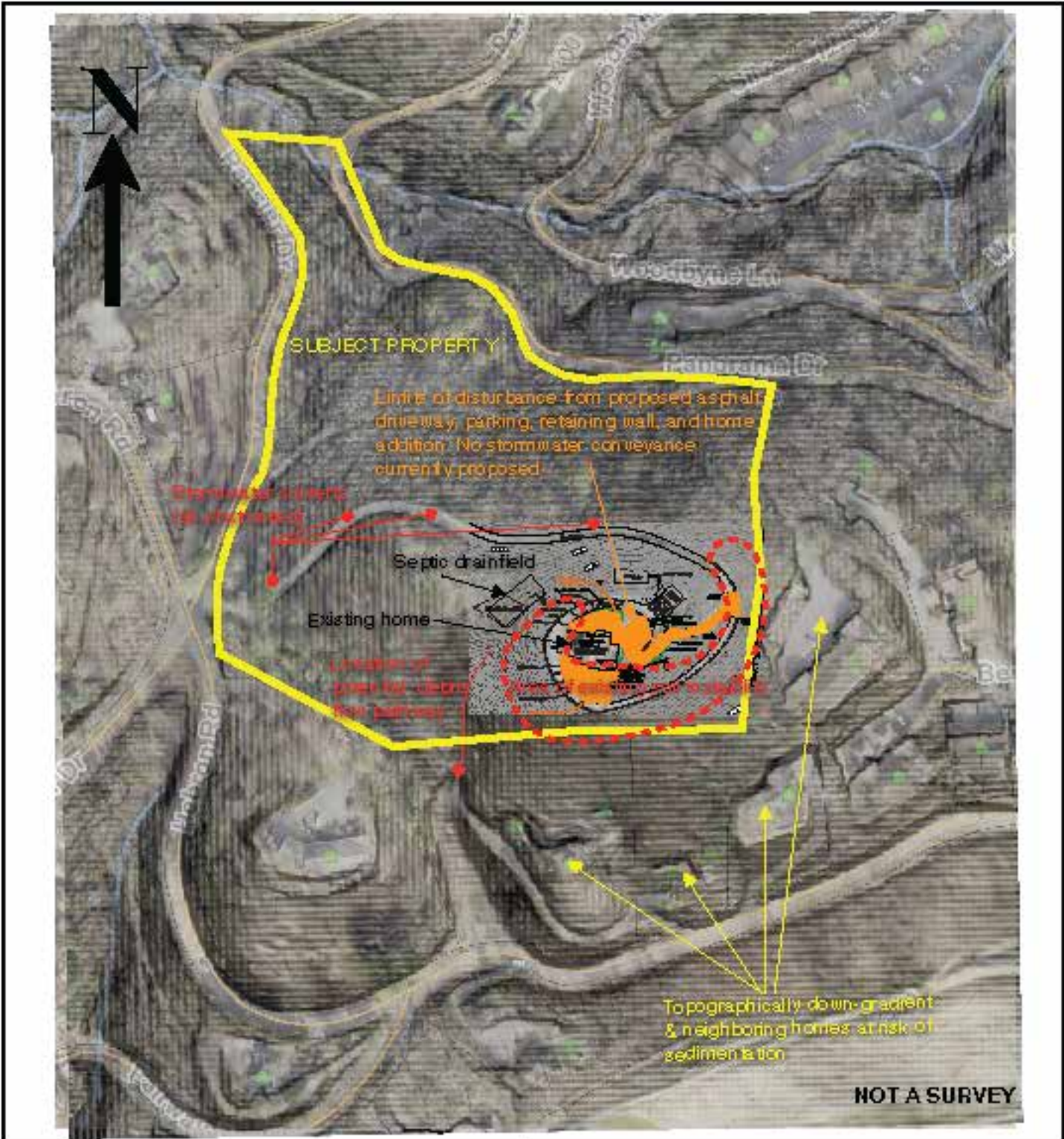


Jonathan D. Gerst, MS, PG (NC #2515 / SC #2644)
Principal Hydrogeologist



Enclosures: Figure 1- Site Map & Borehole Locations
 Field Reconnaissance Photographs

Copy to: Tow of Laurel Park, assistant@laurelpark.org



SOURCES: Henderson County GIS, NCEM SDD, CDS Site Plan

LAUREL PARK PRE-DEVELOPMENT INVESTIGATION

Property of Suzanna and Beau Waddell
 8.8-Acre Residential Property (Henderson Co. PIN 9669967064)
 273 Ransier Drive, Laurel Park, NC 28739



PEAK HYDROGEOLOGIC, PLLC
 ENVIRONMENTAL & WATER
 RESOURCES CONSULTING

PROJ. NO.: 474-24

DRAWN BY: JDG

FIGURE: 1

SCALE: 1-in = 230-ft

DATE: 06/29/2024



Image 1- View to north from topographic high-point at the proposed development area.



Image 2- Proposed area of disturbance on the northern side of the home. Proposed work here includes addition of patio, steps, walkway, and retaining wall.



Image 3- Proposed area of disturbance on the east side of the home. Asphalt pavement proposed on steep road.



Image 4- Proposed area of disturbance on the east side of the home. Proposed work here includes new parking spaces, steps, and retaining wall.



Image 5- Proposed area of disturbance on the south side of home. Proposed work here includes a hoome addition, patio, sidewalk, and retaining walls. Shows cross-section of soil profile.



Image 6- View of the upper reaches of the southern slope where it is covered by mulch.



Image 7- View of unstable temporary soil stockpiles along the driveway, below the home, and above the southern slope.



Image 8- Sedimentation on southern slope below the driveway.



Image 9- Sedimentation on southern slope looking from driveway downhill and towards adjoining homes.



Image 8- Slump location near ravine southwest of home, and on adjoining property to the south.



Image 10- View of nearby home on adjoining property to the south.



Image 11- View of another nearby home on adjoining property to the south.



Image 12- Curved tree on southern slope. Total of curved trees <math><10\%</math>.



Image 13- Tree deadfall on southern slope.



Image 14- Henderson gneiss outcrop near tree deadfall above ravine (southwest of home).



Image 15- Recently disturbed soils at new septic drainfield.



Image 16- Sedimentation down-gradient from recently constructed septic drainfield.



Image 17- Driveway gravel sedimentation downhill from steep driveway. View of adjoining condominium to the east is in the background.



Image 18- Sedimentation associated with preceding picture leads off-site.



Image 19- Very steep and abrupt slope change at eastern property boundary, above parking garage to adjoining condos.



Image 20- Stormwater conveyance channel has become developed in wooded area.



Image 21- Another stormwater conveyance channel that has developed along the driveway that is causing sedimentation in the wooded area.



Image 22- Culvert #1 (most up-hill; near home). Erosion at outfall.



Image 23- Clogged culvert #2.



Image 24- Clogged culvert #3.



Image 25- Sedimentation from culvert #3.



Image 26- Clogged culvert #4 (most down-hill).



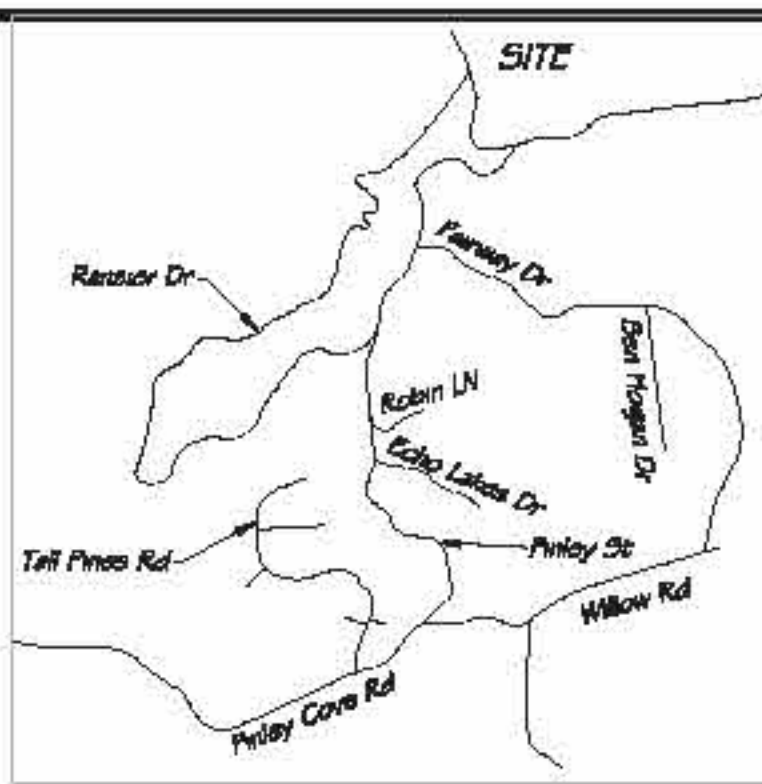
Image 27- Sedimentation from culvert #4.



Image 28- View of Wash Creek at northwestern property corner.



Image 29- Henderson gneiss exposed in Wash Creek stream channel is massive (no significant jointing/ fractures observed).



LOCATION MAP
N.T.S.

WGLA Engineering

WGLA ENGINEERING, PLLC
724 5th AVENUE WEST
HENDERSONVILLE, NC 28739
(828) 687-7177
WGLA.COM
NC LICENSE P-1342

Waddell Residence
273 Ransier Drive

Henderson County
North Carolina



REVISIONS	
DATE	DESCRIPTION

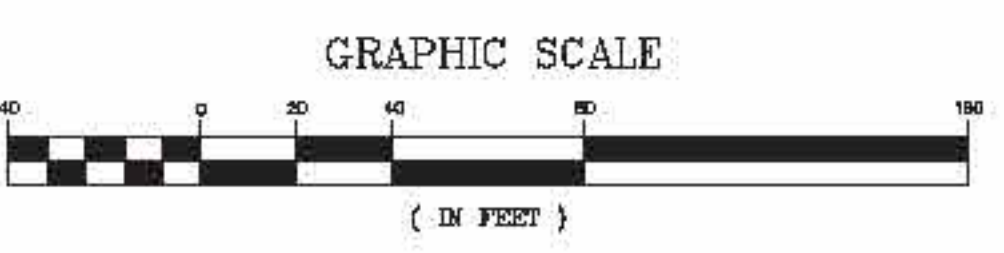


PROJECT NUMBER: 24147
DATE: 6/24

Storm Water Plan

C-400

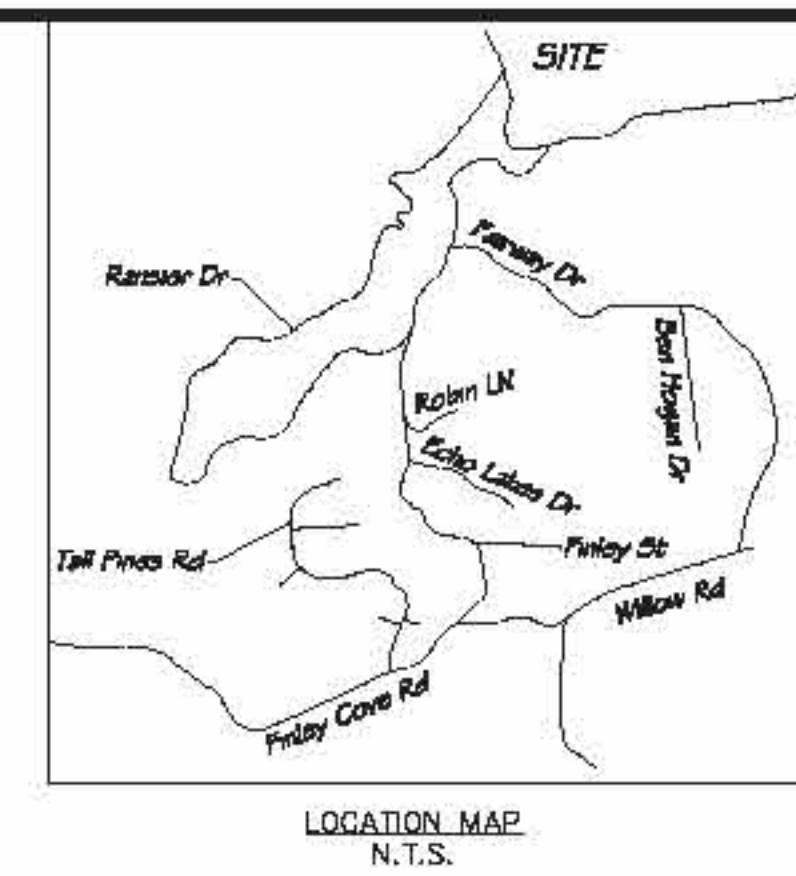
SCALE: 1"=40'



LEGEND
 [Grey Box] EXISTING IMPERVIOUS AREA
 [Blue Box] PROPOSED IMPERVIOUS AREA
 TOTAL SITE ACREAGE = 8.64 AC.

SURVEY INFORMATION PROVIDED BY:
ASSOCIATED LAND SURVEYORS & PLANNERS, PL
PO BOX 578
HORSE SHOE, NC 28742
(828) 890-3507

Winslow D.B. 1613, Pg. 243
Luther D.B. 943, Pg. 781
Leone D.B. 1500, Pg. 241



Waddell Residence
273 Ransier Drive

Henderson County
North Carolina



REVISIONS

DATE	DESCRIPTION

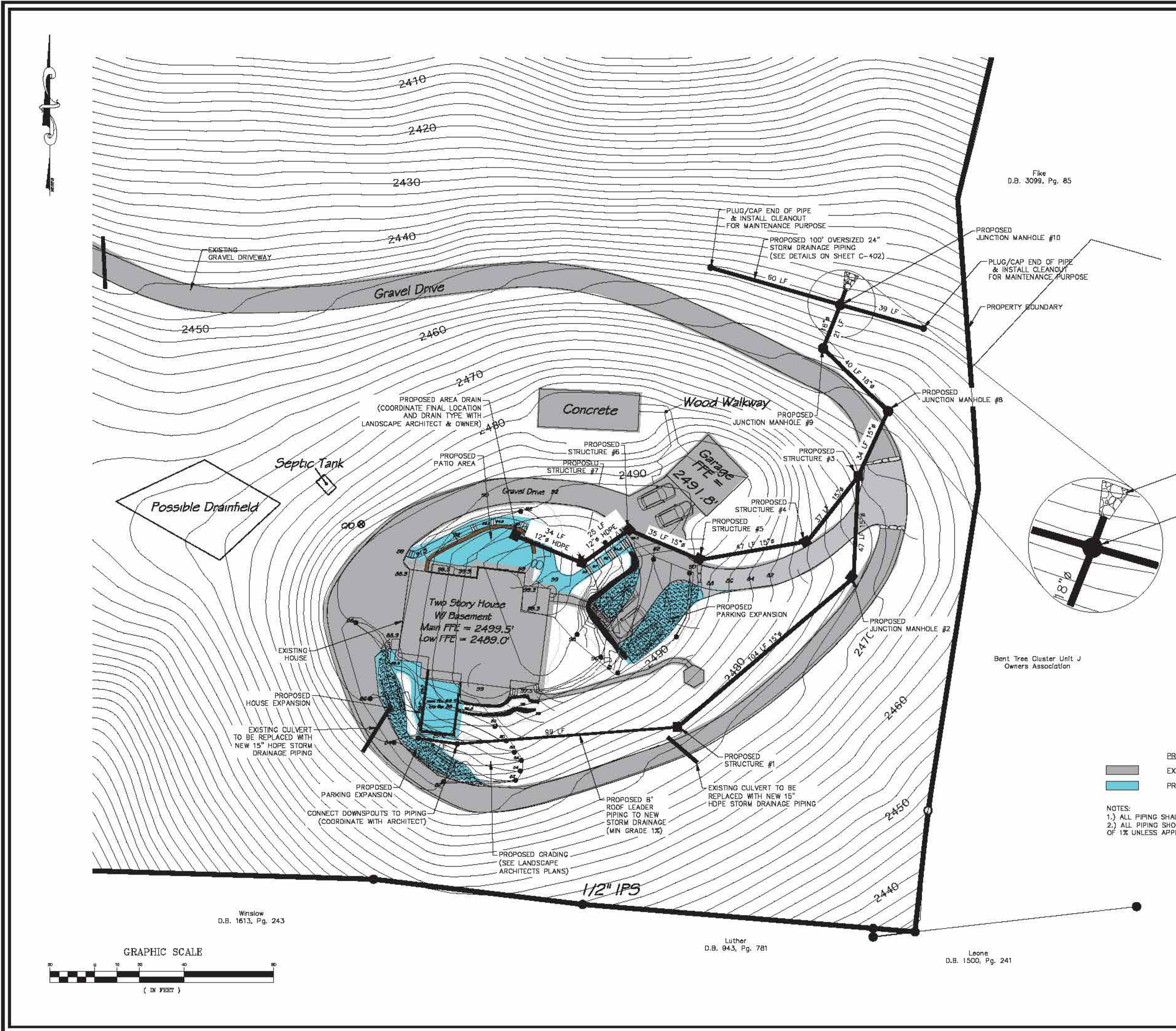


PROJECT NUMBER: 24147
DATE: 6/24

Storm Water Plan

C-401

SCALE: 1"=20'



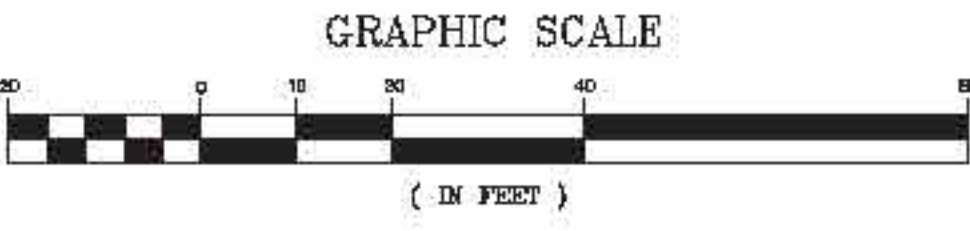
File
D.B. 3099, Pg. 85

Bent Tree Cluster Unit J
Owners Association

Winslow
D.B. 1613, Pg. 243

Luther
D.B. 943, Pg. 781

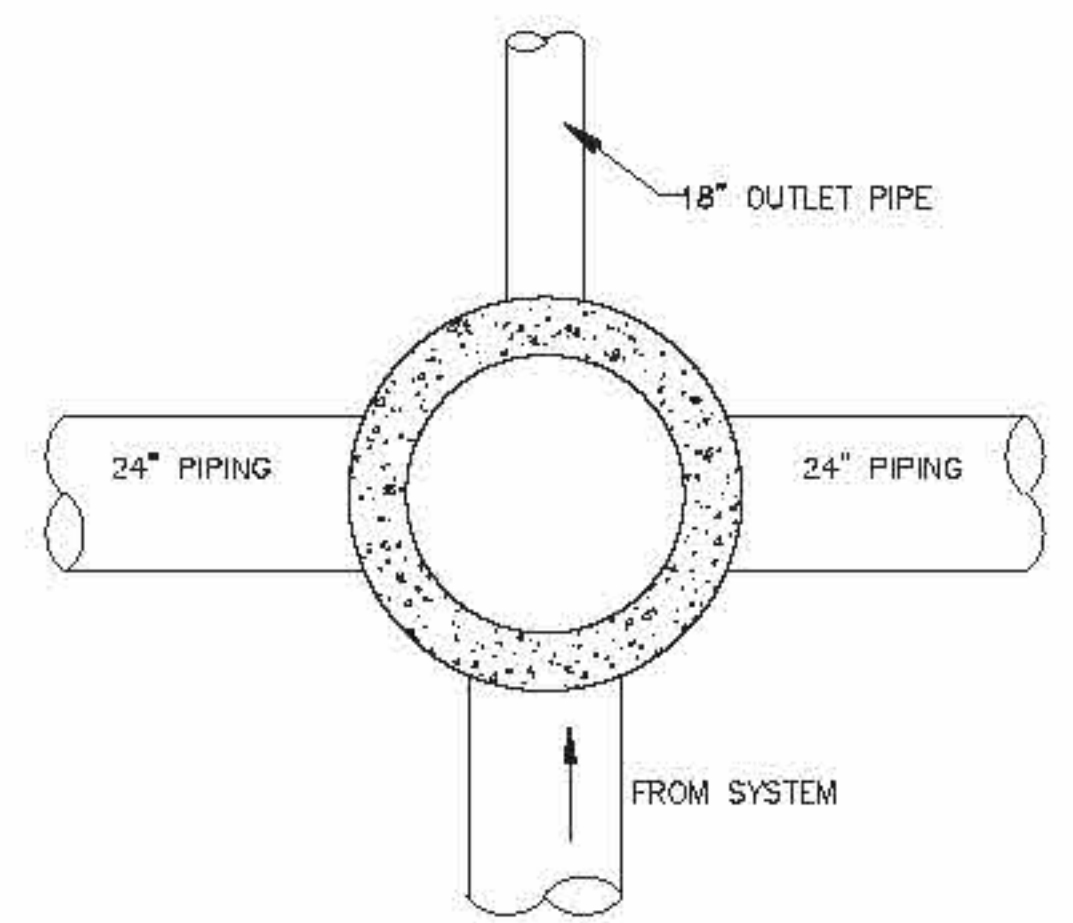
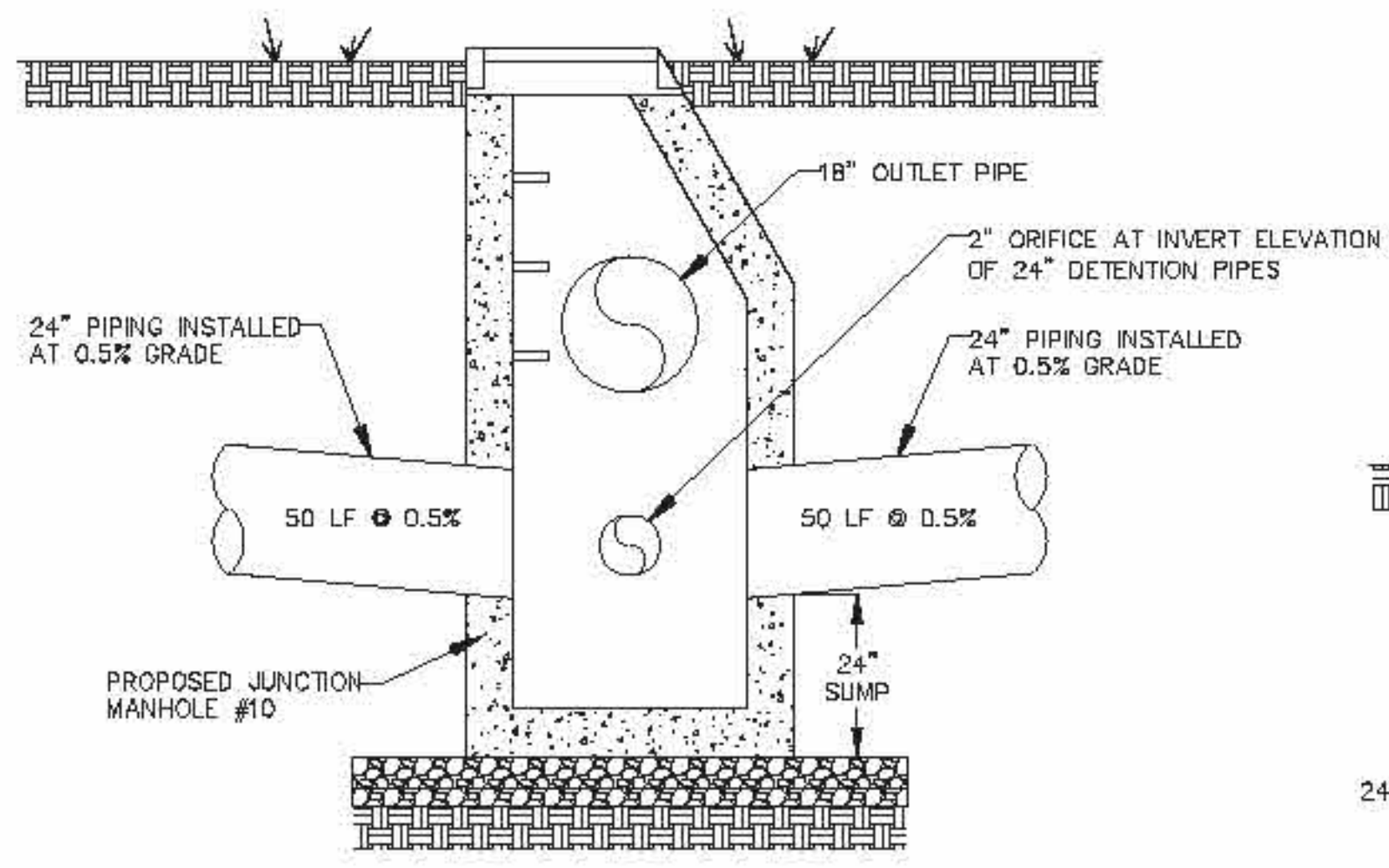
Leone
D.B. 1500, Pg. 241



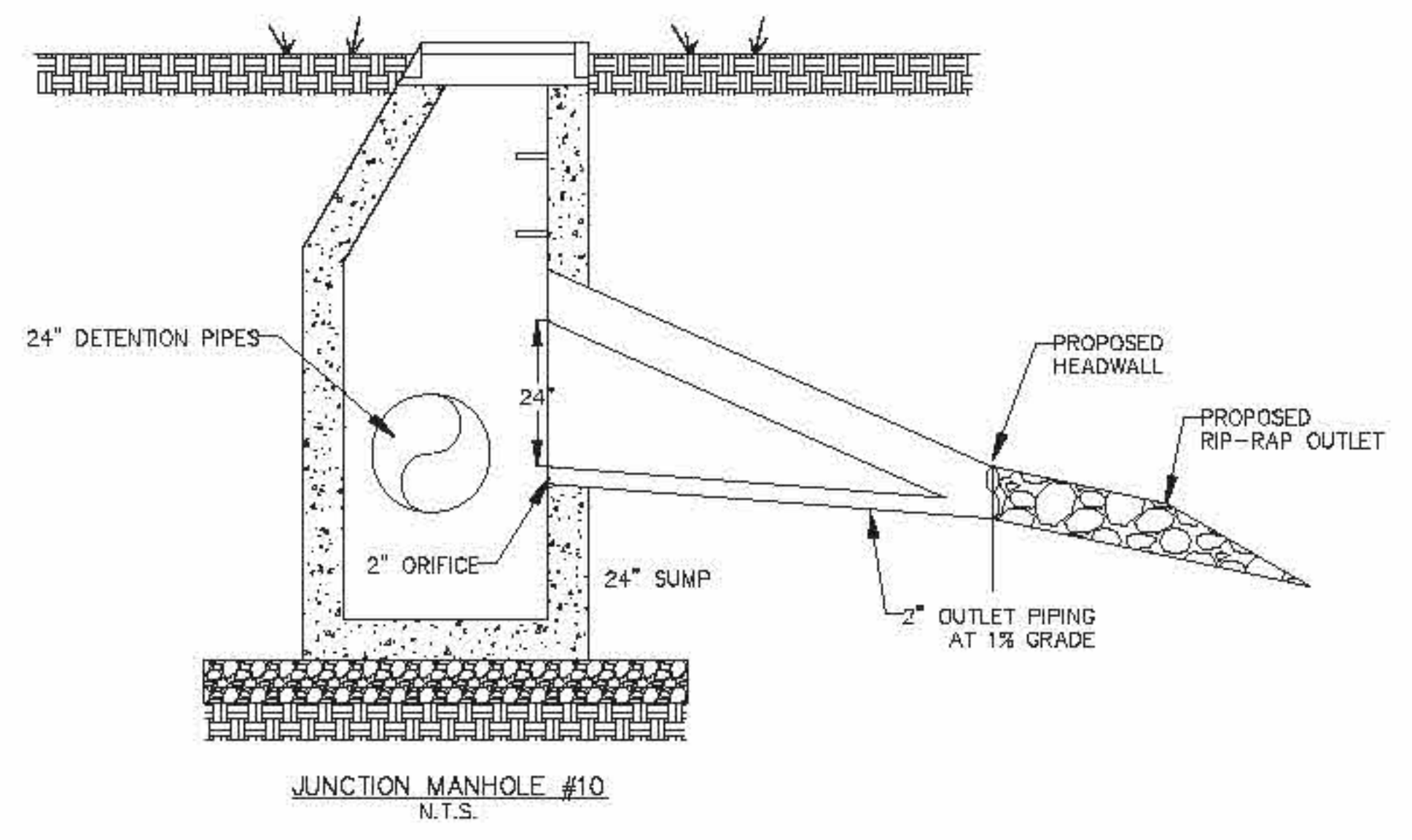
PROJECT SUMMARY

EXISTING IMPERVIOUS AREA	22,679 SF
PROPOSED IMPERVIOUS AREA	2,725 SF

- NOTES:
- 1.) ALL PIPING SHALL BE DOUBLE WALL HDPE PIPING.
 - 2.) ALL PIPING SHOULD BE INSTALLING AT A MINIMUM GRADE OF 1% UNLESS APPROVED BY ENGINEER.

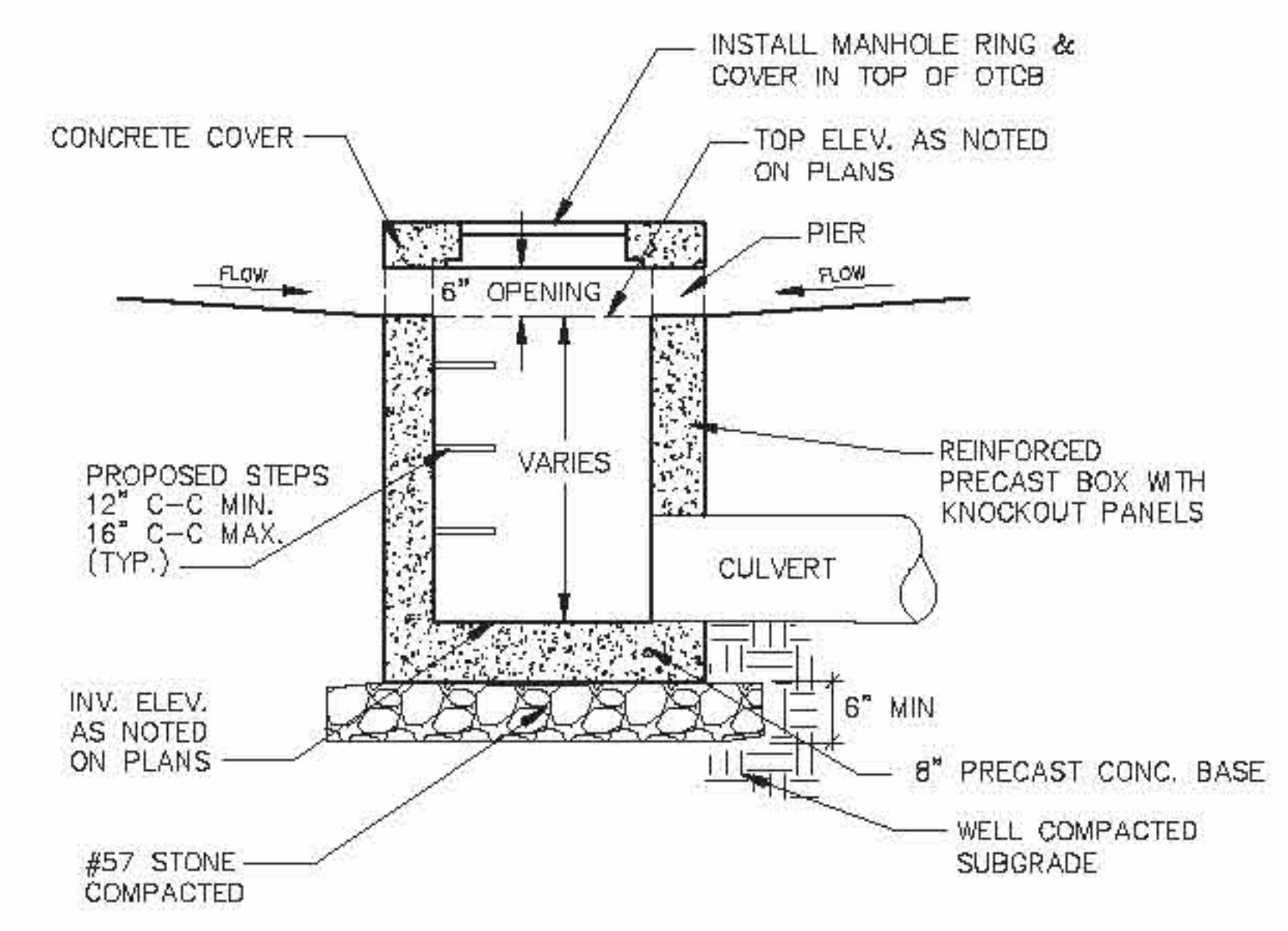
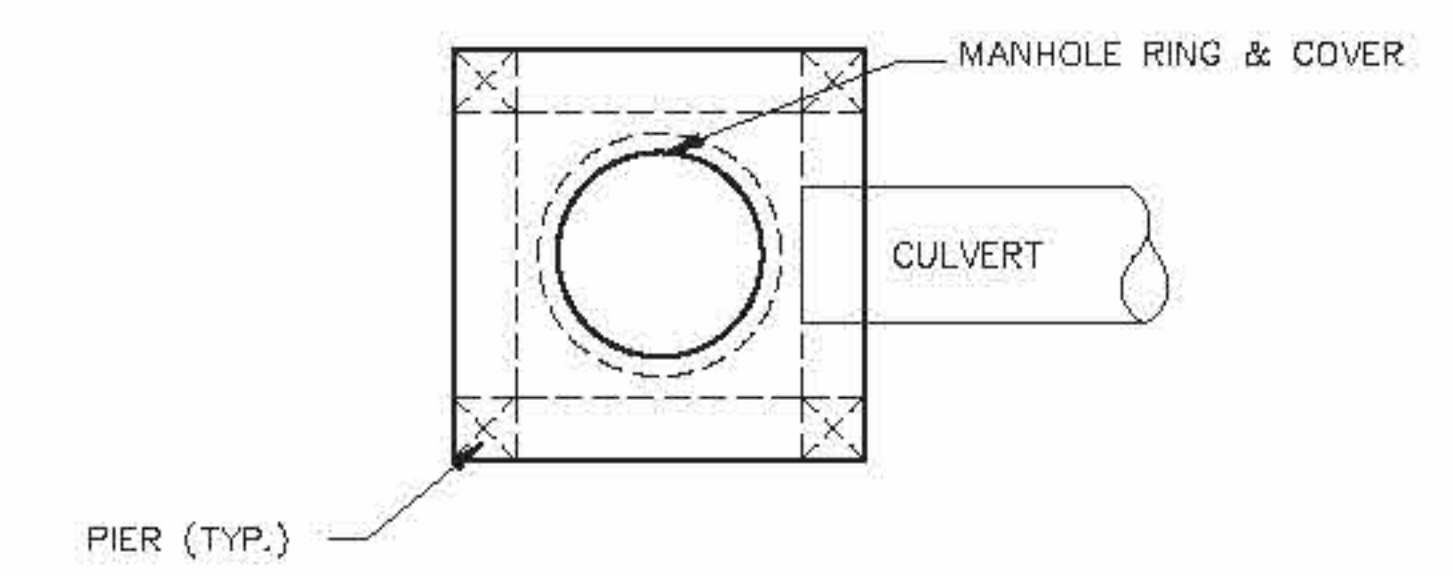


JUNCTION MH #10
OUTLET CONTROL STRUCTURE
PLAN VIEW
N.T.S.



JUNCTION MANHOLE #10
N.T.S.

NOTE:
ALL CATCH BASINS OVER 3' DEEP SHALL
HAVE STANDARD STEPS @ 16" O.C.
WRAP BOX IN FILTER FABRIC

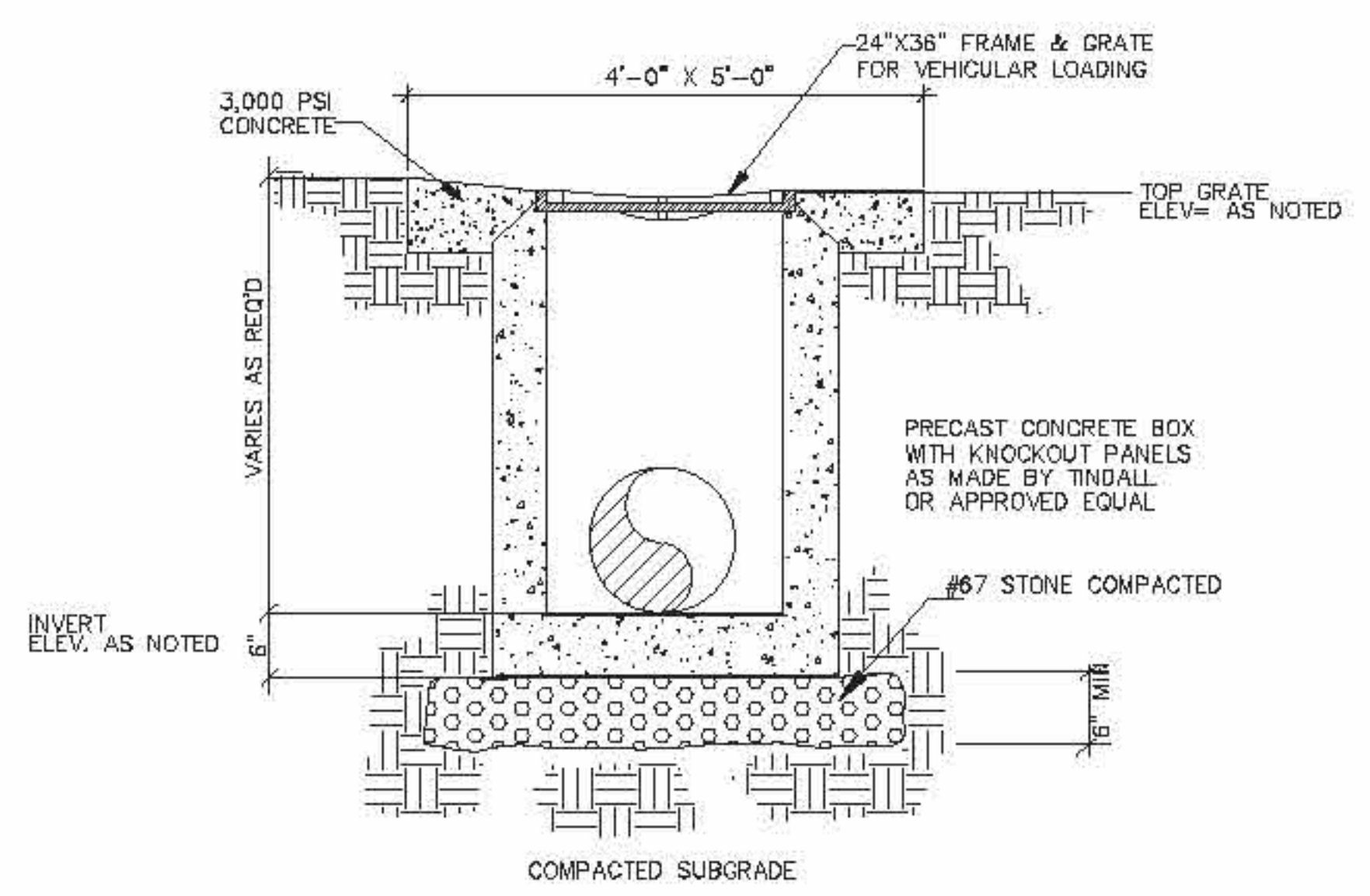


OPEN THROAT CATCH BASIN

1-3-23

NOT TO SCALE

4.16

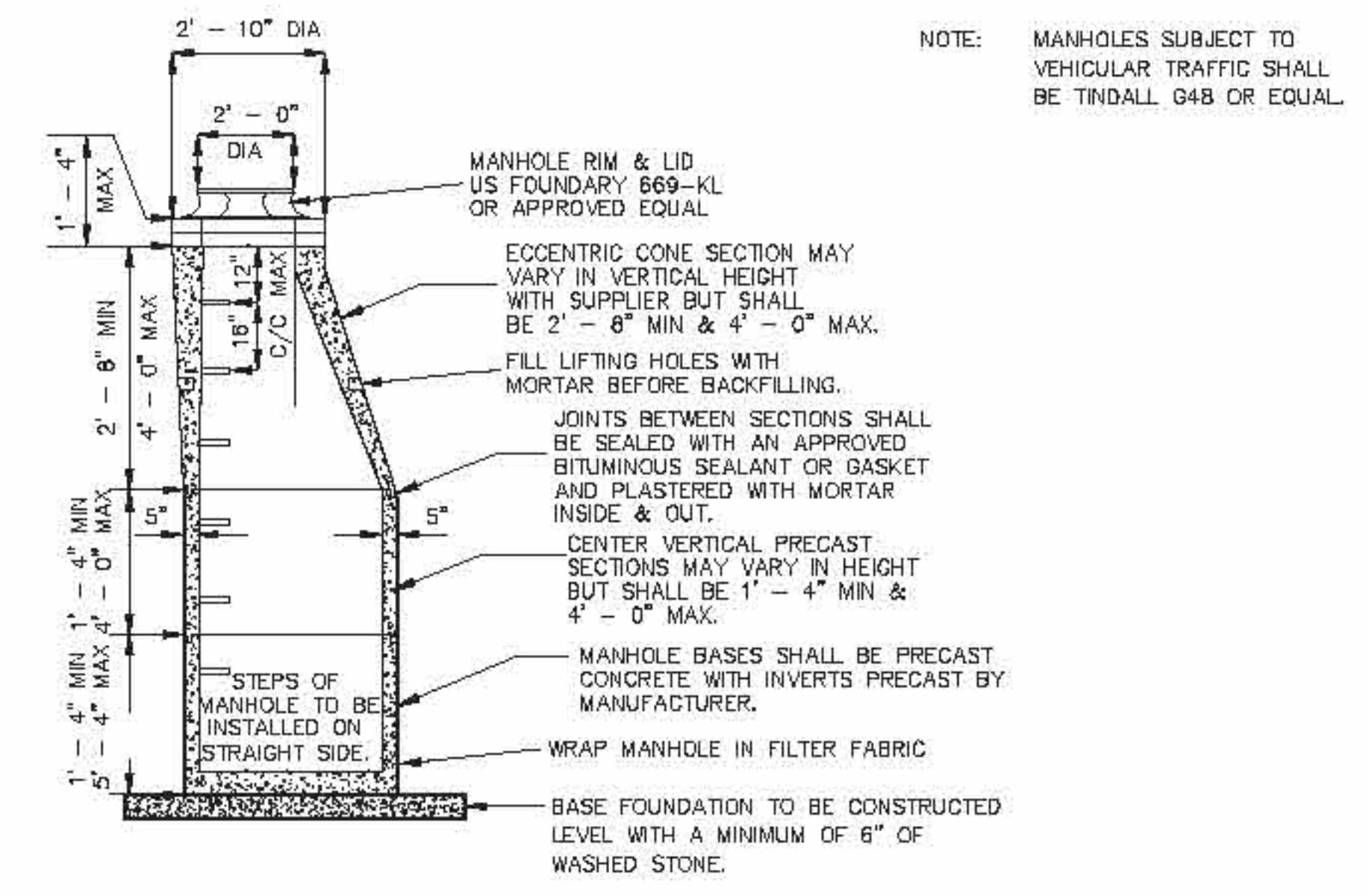


DROP INLET

12-21-2022

NOT TO SCALE

4.08



JUNCTION MANHOLE

12-21-2022

NOT TO SCALE

4.09

WGLA ENGINEERING, PLLC
724 5th AVENUE WEST
HENDERSONVILLE, NC 28739
(828) 687-7177
WGLA.COM
NC LICENSE P-1342

Waddell Residence
273 Ransier Drive

Henderson County
North Carolina



REVISIONS	
DATE	DESCRIPTION



PROJECT NUMBER: 24147
DATE: 6/24

Storm Water Plan

C-402

SCALE: 1"=20'



TOWN OF LAUREL PARK
AGENDA ITEM SUMMARY

Title of Item: Minor Subdivision 1 lot into 2 – 2519 Davis Mountain Drive

Presenter: Cara R. Reeves- Zoning Administrator

Attachment(s): Yes/No

- Survey
- Septic Records
- Proposed Property Descriptions

Summary of Item:

Jessica and Joshua Worthen (owners) are proposing to subdivide a parcel identified on the Henderson County Geographic Information System (GIS) as property identification number (PIN 9548462414). This property is in the ETJ R-30 zoning district. The estimated acreage is 2.33 acres, and the slope of the property is estimated at 10% which is considered a low slope. There are two existing homes on the property, a Manufactured Home at 2515 Davis Mountain Road and a 1 story Stick Built Home at 2519 Davis Mountain Road.

The Laurel Park Unified Development Ordinance (UDO) section 2.5.3: Dimensional Standards for the R-30 zone indicates that lots with low slopes (less than 15%) require a minimum street setback of 35 feet and a minimum side and rear setback of 25 feet. The minimum lot area is 30,000 square feet and the minimum lot width is 100 feet. All requirements have been satisfied for the subdivision to be approved including a legal description detailing each lot and referencing the shared well and shared driveway.

Suggested Action: Staff requests Planning Board review the attachments and review criteria.

Suggested Motion: Motion to recommend approval, approval with conditions, or denial by the Town Council.



Vicinity Map

I, Cameron S. Baker, certify that this plat was drawn under my supervision from an actual survey under my supervision, (deed description recorded in Book 4700, Page 655) that the ratio of precision as calculated by latitude and departure does not exceed 1:10,000 and that this map was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal, this ____ day of _____, 20__.

Professional Land Surveyor No. L-4920

I, Cameron S. Baker, Professional Land Surveyor, certify that this survey creates a subdivision of land within the jurisdiction of Henderson County, which has an ordinance that regulates parcels of land.

Professional Land Surveyor L-4920

I, Cameron S. Baker, Professional Land Surveyor, certify that the lot(s) created by this plat is (are) served and accessed by a recorded driveway easement shown hereon. This easement may or may not meet the standards for roads serving subdivisions in the Henderson County Land Development Code. Neither the undersigned nor Henderson County certify whether this easement meets such standards. This ____ day of _____, 20__.

Professional Land Surveyor No. L-4920

I, _____, Subdivision Administrator for Town of Laurel Park certify that this plat has been Reviewed and Approved as a _____ Minor Subdivision _____ in accordance with the Town of Laurel Park Subdivision Ordinance.

Subdivision Administrator Date



State of North Carolina, County of Henderson
 filed for registration on the ____ day of _____, 20__
 at ____ o'clock ____ M and recorded in
 slide _____ in the office of the
 Register of Deeds of Henderson County.

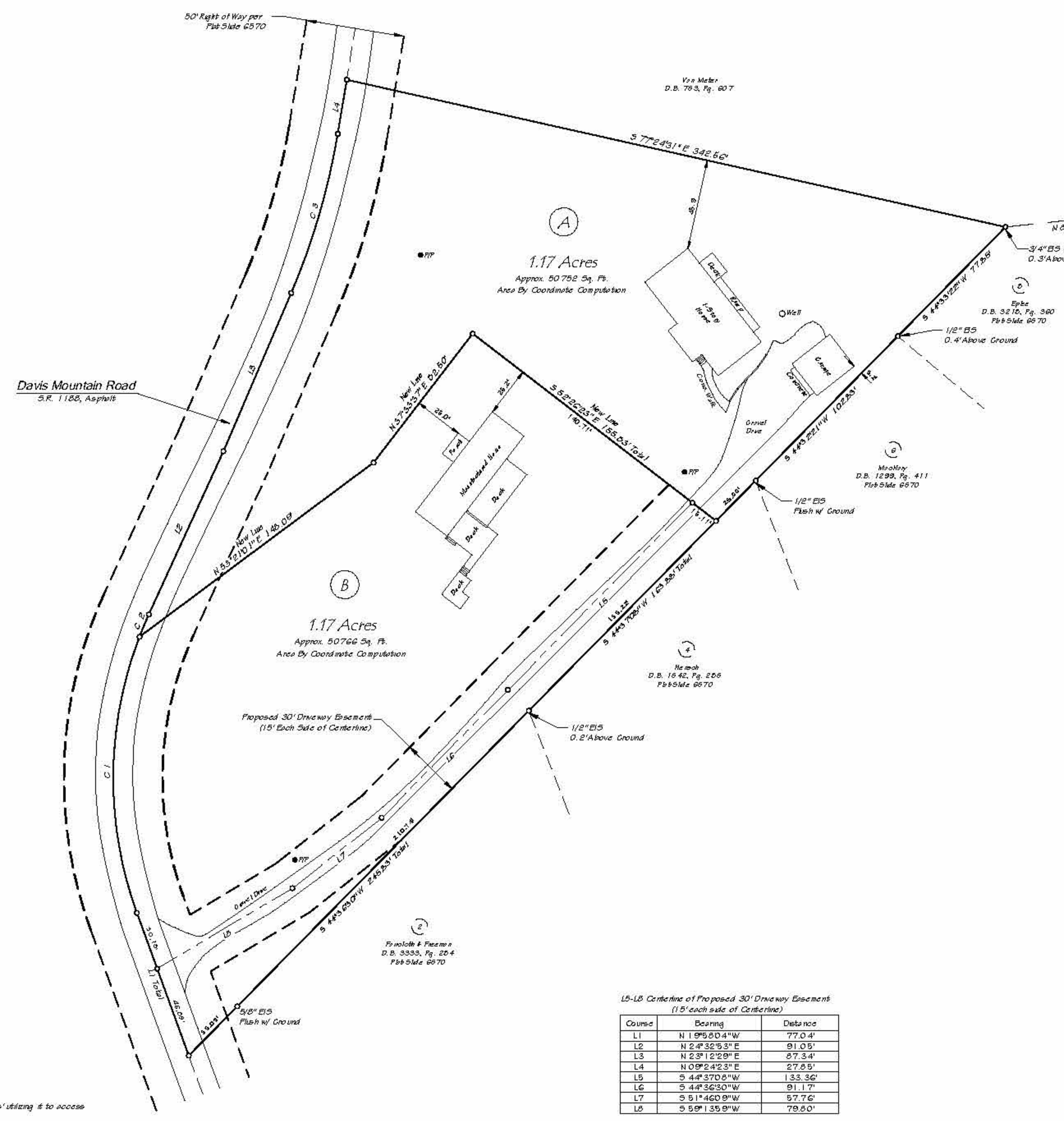
Register of Deeds
 By: _____ Deputy

State of North Carolina
 County of Henderson
 I, _____ Review Officer of Henderson County,
 certify that the map or plat to which this certification is affixed
 meets all statutory requirements for recording.

Review Officer Date

I certify that the final plat shown hereon
 complies with the Laurel Park Subdivision
 Ordinance and is approved by the Board of
 Commissioners for recording in the Henderson
 County Register of Deeds office.

Date Mayor - Town of Laurel Park



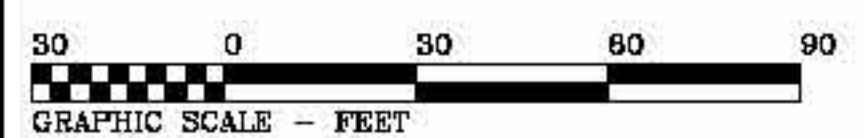
L5-L8 Centerline of Proposed 30' Driveway Easement (15' each side of Centerline)

Course	Bearing	Distance
L1	N 10°50'04"W	77.04'
L2	N 24°32'53"E	81.05'
L3	N 23°12'29"E	87.34'
L4	N 09°42'33"E	27.85'
L5	S 44°37'09"W	133.36'
L6	S 44°36'30"W	91.17'
L7	S 51°46'09"W	57.76'
L8	S 59°13'59"W	79.80'

Curve	Radius	Length	Chord	Chord Bear.
C1	200.00'	143.08'	140.05'	N 00°31'36"E
C2	200.00'	12.31'	12.31'	N 22°47'05"E
C3	350.00'	84.31'	84.11'	N 16°18'26"E

Legend:
 CM = Existing Concrete Monument
 IP = Existing Iron Pipe
 IS = Existing Iron Stake
 IFS = Iron Pipe Set
 O = Unmarked Point, Unless Otherwise Noted
 ROW/MON = Right of Way Monument
 ROW = Right of Way
 RR5 = Railroad Spike
 PFP = Power Pole

- Building Setbacks as per Town of Laurel Park R-30 Zoning:
 Principal Structure:
 Front: 35'
 Side: 25'
 Rear: 25'
- Accessory Structure:
 Front: 35'
 Side: 10'
 Rear: 10'
- Notes:
 1. Property is subject to all easements, restrictions and right of ways of record.
 2. The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
 3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
 4. The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
 5. All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW research maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assignees.
 6. This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
 7. Property is currently zoned Town of Laurel Park ETJ-R-30 per Henderson County GIS.
 8. Property is located within 1/2 mile of a designated Farm and Forestation District.
 9. Maintenance responsibility of the proposed Driveway Easement shown hereon is conveyed to the homeowners utilizing it to access their property. Easements must be maintained to allow clear passage for emergency response vehicles.
 10. Property is located in Zone X (Minimal Flood Risk) as per FRIS Map Panel 954B, Map #3700954B00J effective date 10/02/2008



being all of the property as described in Deed Book 4166, Page 655

Map of Minor Subdivision for

Jessica Worthen
 and
 Joshua Worthen

-Chairs-

D.B. 4166, Pg. 655

Address: 2519 Davis Mtn. Road

Pin: 9548-46-2414

Crab Creek Township Henderson County, NC

ASSOCIATED LAND SURVEYORS & PLANNERS P.C.

P.O. BOX 578 * HORSE SHOE, NC 28742

(828) 890-3507 NC BUSINESS LICENSE NO. C-2774

SCALE: 1 Inch = 30 Feet DATE: June 19, 2024

JOB NO.: S-24-284 DRAWN BY: PCA CHECKED BY: BLS

2519

HENDERSON COUNTY HEALTH DEPARTMENT

Completion Permit

New Construction
Repair
Pre-Existing Tank

Permit Number

C No. 7107
I No. 8868

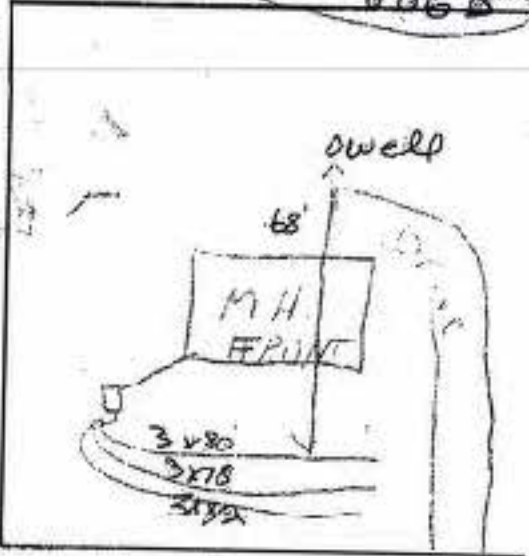
Owner: William Greene Date: 6-26-88
Building Contractor: SAMC
Septic Tank Installer: Merrill Grading
Location: DAVIS Mtn Rd
Lot No: 2 Development: _____

House Mobile Home Other
No. Bedrooms: 3 Garbage Disposal Yes No
Basement Plumbing Yes No
Water Supply - Community Individual well
Lot Size: 20,000 ft²+
Site Evaluation Suitable Provisional
Tank Size: 1000 Drain Field: 720 Sq. Ft. 3 trenches
Stone Depth: 12 Inches 3 x 80
Valid only for use as described above

Zoning regulations may be in effect in your area, before proceeding with construction, check with the Henderson County Zoning Officer or Inspection Department.

Received by: [Signature] Approved for Material & Workmanship Only

Issued by: [Signature] Sanitarian



2515

HENDERSON COUNTY HEALTH DEPARTMENT
SEWAGE TANK SYSTEM IMPROVEMENTS PERMIT

Call 892-4213 between 8-2 and 1-4:30 a.m.

Owner William Gifford Date 4-12-85
Building Contractor Same

Location Davis Mt. Rd 200ft on Rt
Lot # (1) Development

House Mobile Home Other

No. Bedrooms 3

Basement Plumbing Yes No

Water Supply Community Individual

Lot Size 15,000 sq ft

Site Evaluation - Suitable Provisional Unsuitable

Tank Size 750 Drain Field 780 Sq. Ft.

Stone Depth 12 Inches

Valid only for use as prescribed above.
Non-compliance in advance for any changes needed 3' x 180'

Zoning regulations may be in effect in your area, before proceeding with construction, check with the Henderson County Zoning Officer or Inspection Department.

Permit valid for 3 years from date of issuance.

William Greene Approved for Material & Workmanship Only

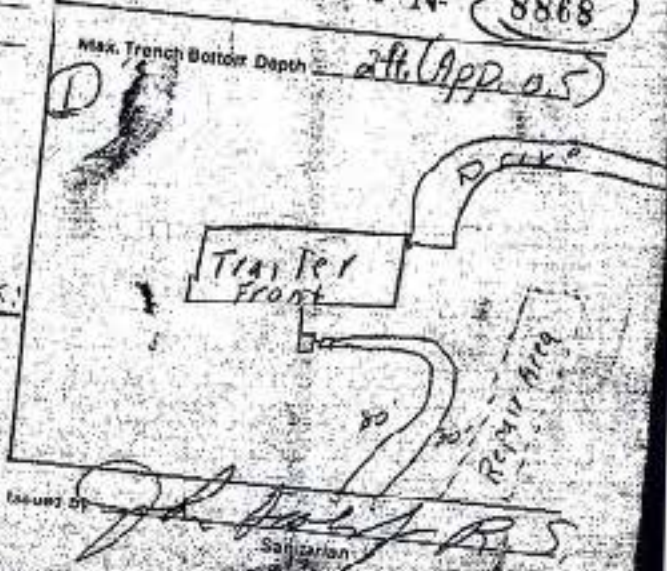
Approved
Disapproved
New Construction
Repairs
Pre-Existing Tank

For Conventional System

Permit Number

I No 8868

Max. Trench Bottom Depth 2ft (App. 0.5)



Issued by J. H. [Signature] Sanitarian

EXHIBIT A

BEING all of that 1.17 acres, more or less, shown as tract A on a plat thereof recorded in Plat Book _____ at Page _____, Henderson County Registry, reference to which is hereby made for a more complete metes and bounds description.

ALSO CONVEYED herewith, to be appurtenant to and run with the above-described property, a right of way for purposes of ingress, egress, and utilities across that proposed 30' Driveway Easement as shown on Plat Book _____ at Page _____, Henderson County Registry, with the maintenance of said shared drive way to be shared equally with the owners of tract B of Plat Book _____ at Page _____.

AND SUBJECT to the rights of the owners of tract B of Plat Book _____ at Page _____ to take water from the well located on the above referenced tract for domestic purposes only. Such easement shall be binding upon the owners of tract A and tract B of Plat Book _____ at Page _____, their heirs, successors and assigns. This easement right shall include the right of the owners of tract B to enter upon said tract A for the purpose of maintaining the well, pump and waterlines located thereon with both tract A and tract B to share in the maintenance and repair of said well and waterworks and the cost of electricity to operate the well on a pro rata basis. In the event that either the owner(s) of this tract A or tract B no longer take water from said well, then such owner(s) shall no longer be required to share in the maintain and repair of such well and the cost of electricity to operate the same.

EXHIBIT A

BEING all of that 1.17 acres, more or less, shown as tract B on a plat thereof recorded in Plat Book _____ at Page _____, Henderson County Registry, reference to which is hereby made for a more complete metes and bounds description.

ALSO CONVEYED herewith, to be appurtenant to and run with the above-described property, an easement and right of the owner of the above referenced tract, to take water for domestic purposes only from the well located on tract A of Plat Book _____ at Page _____. Such easement shall be binding upon the Grantee, their heirs, successors and assigns. This easement right shall include the right to enter upon said tract A for the purpose of maintaining the well, pump and waterlines located thereon. Also SUBJECT to the requirement of the Grantee, their heirs, successors and assigns to share in the maintenance and repair of said well and waterworks and the cost of electricity to operate the well with the owner of tract A on a pro rata basis. In the event that either the owner(s) of this tract B or tract A no longer take water from said well, then such owner(s) shall no longer be required to share in the maintenance and repair of such well and the cost of electricity to operate the same.

AND ALSO, to be appurtenant to and to run with the above-described property, right of way for ingress, egress, and utilities for the owners of Tract A in Plat Book ____ Page _____ over that proposed 30' Driveway Easement as shown on Plat Book _____ at Page _____, Henderson County Registry, with the maintenance of said shared driveway to be shared equally with the owners of tract A and tract B of Plat Book ____ Page _____.



TOWN OF LAUREL PARK
AGENDA ITEM SUMMARY

Title of Item: Minor Subdivision 2 lots into 4 – Prior Preserve

Presenter: Cara R. Reeves- Zoning Administrator

Attachment(s): Yes/No

- Survey

Summary of Item:

Prior Preserve, LLC care of registered agent Jennifer Brown (owner) is proposing to subdivide two parcels identified on the Henderson County Geographic Information System (GIS) as property identification numbers (PIN 9558668786 and 9558665965). The properties are in the R-30 zoning district. The estimated total acreage is 16.49 acres, and the slope of the property is estimated at 12% which is considered a low slope.

The Laurel Park Unified Development Ordinance (UDO) section 2.5.3: Dimensional Standards for the R-30 zone indicates that lots with low slopes (less than 15%) require a minimum lot area of 30,000 square feet and a minimum lot width of 100 feet.

A legal description of each lot must be submitted prior to Town Council's review and decision. In addition, **the Town has yet to receive required documentation to satisfy the following review Criteria C:**

All lots have been certified by the Henderson County Health Department as capable of accommodating the wastewater generated from the proposed use, in cases when the lot(s) is not served by a centralized wastewater system.

Suggested Action: Staff requests Planning Board review the attachments and review criteria.

*****Motion should not be made until required documentation has been received.*****

Suggested Motion: Motion to recommend approval, approval with conditions, or denial by the Town Council.



LEGEND

- Survey Boundary
- Adjacent Property
- Water
- Right-of-Way
- Other

Lot	Area	Dimensions
1001	1.00	100' x 100'
1002	1.00	100' x 100'
1003	1.00	100' x 100'
1004	1.00	100' x 100'
1005	1.00	100' x 100'
1006	1.00	100' x 100'
1007	1.00	100' x 100'
1008	1.00	100' x 100'
1009	1.00	100' x 100'
1010	1.00	100' x 100'
1011	1.00	100' x 100'
1012	1.00	100' x 100'
1013	1.00	100' x 100'
1014	1.00	100' x 100'
1015	1.00	100' x 100'
1016	1.00	100' x 100'
1017	1.00	100' x 100'
1018	1.00	100' x 100'
1019	1.00	100' x 100'
1020	1.00	100' x 100'

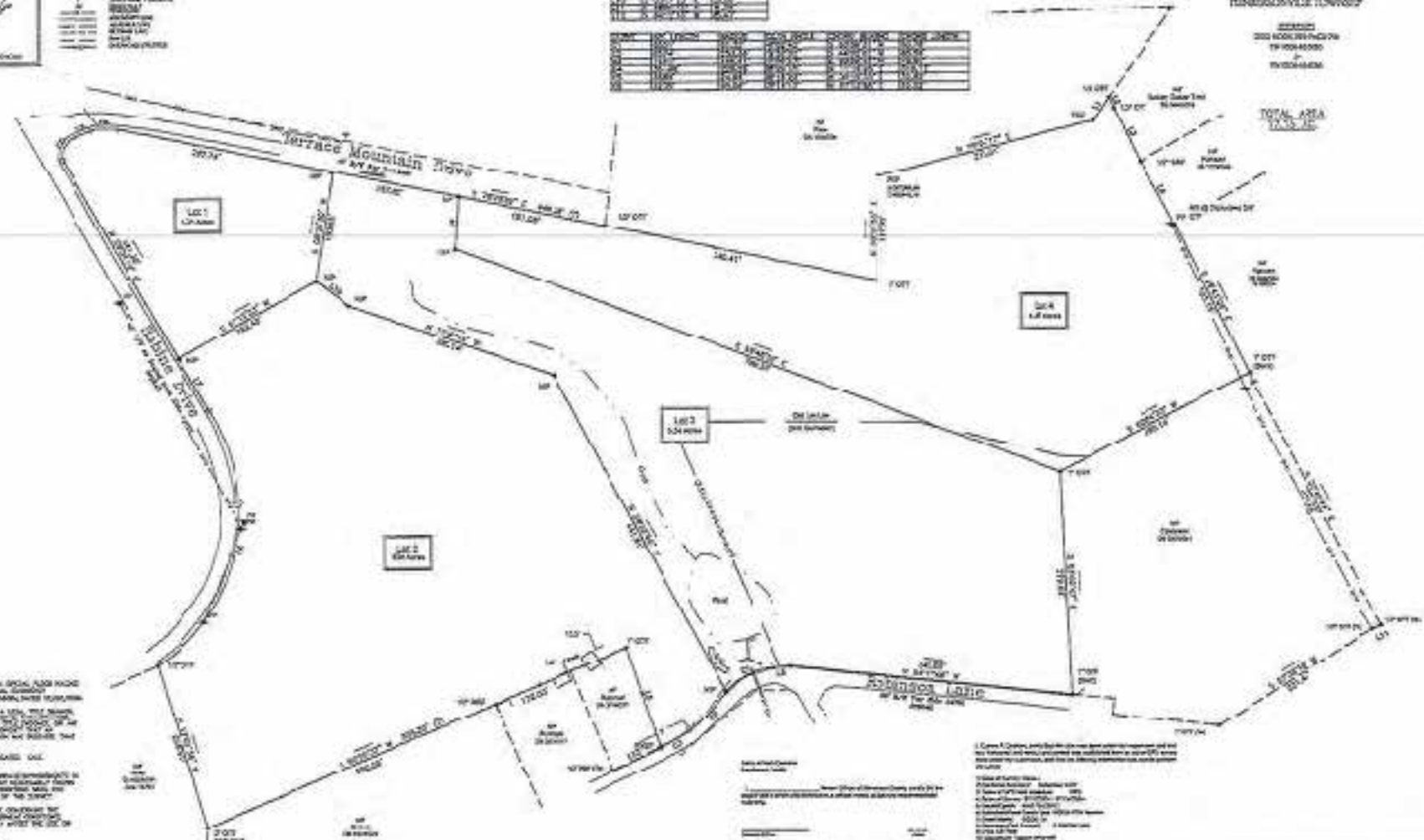
Lot	Area	Dimensions
1021	1.00	100' x 100'
1022	1.00	100' x 100'
1023	1.00	100' x 100'
1024	1.00	100' x 100'
1025	1.00	100' x 100'
1026	1.00	100' x 100'
1027	1.00	100' x 100'
1028	1.00	100' x 100'
1029	1.00	100' x 100'
1030	1.00	100' x 100'
1031	1.00	100' x 100'
1032	1.00	100' x 100'
1033	1.00	100' x 100'
1034	1.00	100' x 100'
1035	1.00	100' x 100'
1036	1.00	100' x 100'
1037	1.00	100' x 100'
1038	1.00	100' x 100'
1039	1.00	100' x 100'
1040	1.00	100' x 100'

**SUBDIVISION SURVEY FOR
PRIOR PRESERVE LLC**

STATE OF NORTH CAROLINA
HENDON COUNTY
HENDONVILLE TOWNSHIP

2025 ACRES
19 100' x 100'

TOTAL AREA
19.10 AC



NOTES

1. This survey is not intended to be a final record and should not be used for any purpose other than the purposes stated herein.
2. The survey is based on the best available information and is subject to the usual errors of surveying.
3. The survey is not intended to be a final record and should not be used for any purpose other than the purposes stated herein.
4. The survey is based on the best available information and is subject to the usual errors of surveying.
5. The survey is not intended to be a final record and should not be used for any purpose other than the purposes stated herein.
6. The survey is based on the best available information and is subject to the usual errors of surveying.
7. The survey is not intended to be a final record and should not be used for any purpose other than the purposes stated herein.
8. The survey is based on the best available information and is subject to the usual errors of surveying.
9. The survey is not intended to be a final record and should not be used for any purpose other than the purposes stated herein.
10. The survey is based on the best available information and is subject to the usual errors of surveying.



DEED

1. This deed is made in full satisfaction of the debt secured by the mortgage recorded in the public records of the State of North Carolina, and the same is hereby released and discharged.

2. The parties to this deed are the mortgagee and the mortgagor, and they are both bound by the terms and conditions hereof.

3. This deed is subject to the terms and conditions of the mortgage recorded in the public records of the State of North Carolina.

4. The parties to this deed are the mortgagee and the mortgagor, and they are both bound by the terms and conditions hereof.

5. This deed is subject to the terms and conditions of the mortgage recorded in the public records of the State of North Carolina.

6. The parties to this deed are the mortgagee and the mortgagor, and they are both bound by the terms and conditions hereof.

7. This deed is subject to the terms and conditions of the mortgage recorded in the public records of the State of North Carolina.

8. The parties to this deed are the mortgagee and the mortgagor, and they are both bound by the terms and conditions hereof.

9. This deed is subject to the terms and conditions of the mortgage recorded in the public records of the State of North Carolina.

10. The parties to this deed are the mortgagee and the mortgagor, and they are both bound by the terms and conditions hereof.